



APPLICATION

Case Number IID - 19 - 07

Date Accepted:

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): The Station - Pueblo Vida

Property Address: 901 South 6th Street

Applicable Area/Neighborhood/Overlay: Santa Rita Park - West Ochoa

Zoning: C-3 Historic Status: (1) contributing historic building

Legal Description: Tucson Lot 2 BLK 144

Pima County Tax Parcel Number/s: 117-08-2410

Site and Building Area (sq ft): 12,671sf Site, 1,107sf West Building, 1,735sf East Building

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Jenni Van Brocklin (repp mclain design and construction)

EMAIL: jenni@reppmclain.com

PHONE: (520) 791.7035

FAX: (502) 791.7075

ADDRESS: 2502 North 1st Avenue, Tucson AZ 85719

PROPERTY OWNER NAME (If ownership in escrow, please note): THE STATION ON 6TH AVE LLC
Howard Hays + Denise Grenier

PHONE: (520) 404-2951 Denise Grenier

PHONE: (620) 316-1225 Howard Hays

FAX: ()

PROJECT TYPE (check all that apply):

() New building on vacant land

() New addition to existing building

(X) Change of use to existing building

(X) New building on developed land

() Other

Related Permitted Activity Number(s): DP19-0063

DESCRIPTION OF USE: Microbrewery 25% storage + brewing, beer + wine, food component, interior + patio seating

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.


SIGNATURE OF OWNER/APPLICANT

2019.06.08

Date



SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

X	1. Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
X	2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
X	3. Project statement outlining scope of work.
X	4. UDC compliance review comments (obtained at the 1 st floor).
X	5. Pima county assessor's record parcel detail and record map.
X	6. Color aerial photograph of subject property (if applicable).
X	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
X	8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
X	9. Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
X	10. Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
-	11. Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
X	12. PDF of all above listed items (number of hard copies may be required).
X	13. Applicable fees (payable to City of Tucson).
X	14. (Other)

*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.

Project Statement

08 MARCH 2019

The Station_Pueblo Vida - proposed
901 South 6th Avenue
Tucson, Arizona 85701

Pueblo Vida is a locally owned and operated microbrewery that has had great success in Tucson. Their current downtown location does not lend the opportunity to grow with their success, they are looking to expand their current operation to include the space located at 901 South 6TH Avenue. The majority of the brewing operation will still be performed downtown, however brewing storage will be held at the South 6TH Avenue location. 901 South 6TH Avenue was previously a tire and vehicle service station that includes an existing open East Building and a contributing historic West Building. Both buildings are existing to remain, but the remaining on-site space does not meet the dimensional area required by the UDC to provide on-site parking. Per the proposed site plan the existing 1,696 SF East Building is scheduled to remain as well as the contributing historic 1,107 SF West Building. We are proposing new construction of a 348 SF Restroom building seated between the two existing buildings. The East and West buildings use is Restaurant Use, the East Building will also incorporate the 25% Microbrewery Accessory Use (this area calculation is shown on the attached site plan). Through the IID process we seek to provide our clients with relief on parking, solid waste, landscape boarders, west parking PAAL and building setback requirements.

1. Parking relief: proposed through the IPP process.
2. Solid Waste relief: dumpsters were proposed, but the sight visibility triangles prevailed. We are requesting the residential bins for trash and recycling. The neighbors preferred the bins because they can be kept secure behind fencing due to the homeless population in the neighborhood.
3. Landscape Boarders relief: reduction of the 10' landscape boarders due to existing buildings layout and existing site conditions.

Project Statement

4. PAAL dimension relief: due to the existing building layout we are limited in providing on site parking. We are proposing to use an existing parking area on the west end of the site and are requesting relief of 25% of the required 24' to 18'.
5. Building Setback relief: the existing contributing historic building does not meet the current setback requirements, we are requesting relief of the south property line setback only.

Pueblo Vida has a strong following of local patrons and they embraced the cycling community, we propose to exceed the minimum bicycle parking requirements and provide Uber and Lift designated zones. We have reached out and met with several surrounding neighborhoods and wards and have received positive responses for our proposed improvement to the site as most disliked the previous tire and vehicle service station due to clutter and the accumulation of tires stacked along the property lines. Please see the following pages representing a snapshot of the proposed occupied space.

Sincerely,

Rick Mclain
Repp Mclain Design and Construction

P. 520.791.7035

CDRC Thursday Pre-Submittal Transmittal
PDSZ Zoning Review

FROM: Elisa Hamblin, AICP 
Principal Planner

PROJECT: Thursday Pre-submittal meeting
Address: 901 S 6th Av
Parcel(s): 117082410
Zoning: C-3
Existing Use: Vacant
Proposed Use: Food Service, Alcoholic Beverage Service

TRANSMITTAL DATE: November 15, 2018

COMMENTS:

1. Development must comply with the Administrative Manual Section 2-06 - Development Package.
2. The proposal calls for a combination restaurant and bar, with a microbrewery as an accessory use. Per conversation with Russlyn Wells, the entire site can function as either of the following two uses: Food Service (restaurant that serves alcohol) or Alcoholic Beverage Sales (bar that serves food). Whatever use is determined, it must remain open at all times to ensure legal beverage sales. The microbrewery will be limited to 25% of the gross floor area (interior building area) of the site.
3. The project site is located in the Greater Infill Incentive District (GIID) Area. This is an optional zoning overlay which may address deficiencies of the site should it be developed utilizing underlying zoning.
4. If utilizing underlying C-3 zoning, this proposal does not meet parking and loading standards. The required parking for either a restaurant or bar would range from 48-95 spaces. An individual parking plan is not an option for the proposed use.
5. If utilizing the GIID option, the required parking may be reduced. Per UDC Article 5.12.9.C.2.a. required parking may be reduced up to 25% or more than 25% through an IID Parking Plan. The parking plan should include proposed methods to reduce vehicular use and may include the following: transit passes, ride share, bike share or car share programs, and shared parking agreements among multiple uses.
6. Vehicular access to and from the site may be constrained. Typically, vehicles are not permitted to back into the right-of-way from an on-site parking space. Further comments may be forthcoming from the Department of Transportation.
7. The proposal will change the intensity of use for the site. Per conversation with Carolyn Laurie, be prepared to discuss mitigation measures for noise, odor and other factors with the neighborhood during the IID process.
8. The comments provided are preliminary and are not to be assumed as a complete review of the proposal. During the Development Package review process, a full review will be made by Zoning to assure compliance with the applicable UDC development criteria and Technical Standards.

If you have any questions please contact me at elisa.hamblin@tucsonaz.gov or (520) 837-4966.

Permit Review Details

Permit: DP19-0063
 Parcel: 117082410

Addresses:
 901 S 6TH AV

Review Details

Review Status: **Active**

Show **100** entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
3/19/2019	ANY	ZONING-DECISION LETTER	REVIEW	Active	None
3/19/2019	SBEASLE1	START	PLANS SUBMITTED	Completed	None
3/19/2019	SBEASLE1	UTILITIES	SOUTHWEST GAS	Passed	A review is not required. This agency was notified for their information only.
3/19/2019	SBEASLE1	OTHER AGENCIES	PIMA ASSN OF GOVTS	Passed	A review is not required. This agency was notified for their information only.
3/19/2019	SBEASLE1	OTHER AGENCIES	U. S. POST OFFICE	Passed	A review is not required. This agency was notified for their information only.
3/20/2019	MASHFOR1	COT NON-DSD	FIRE	Approved	CO2 Operational will be required through the TFD

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Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
3/25/2019	LIZA CASTILLO	UTILITIES	TUCSON ELECTRIC POWER	Approved	<p>WR#6264784 March 25, 2019</p> <p>City of Tucson Attn: Sharon Beasley Planning and Development Services 201 N. Stone Avenue, First Floor Tucson, AZ 85701</p> <p>Dear Ms. Beasley:</p> <p>SUBJECT: The Station DP19-0063</p> <p>Tucson Electric Power Company (TEP) has reviewed and approved the development plan submitted March 19, 2019. It appears that the Electric service to the new business is not depicted on the plans.</p> <p>Enclosed is a copy of a TEP facilities map showing the approximate location of the existing facilities. Any relocation costs will be billable to the customer.</p> <p>In order to apply for electric service, call the New Construction Department at (520) 918-8300. Submit a final set of plans including approved site, electrical load, paving off-site improvements and irrigation plans, if available include a CD with the AutoCAD version of the plans.</p> <p>If easements are required, they will be secured by separate instrument. Your final plans should be sent to: Tucson Electric Power Company Attn: Mr. Richard Harrington New Business Project Manager P. O. Box 711 (DB101) Tucson, AZ 85702 520-917-8726</p> <p>Should you have any technical questions, please contact the area Designer, Martin Rodriguez, at (520) 917-8787.</p> <p>Sincerely,</p> <p>Linda Metzger</p> <p>Linda Metzger Office Support Assistant Design/Build lm Enc. cc: DSD_CDRC@tucsonaz.gov, City of Tucson (email) M. Rodriguez, Tucson Electric Power</p>

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3/25/2019	ALEXANDRA HINES	COT NON-DSD	TDOT	Reqs Change	<p>Gary will be retiring next month, all reviews should be sent to David Marhefka.</p> <p>Here is his review on this project.</p> <ol style="list-style-type: none"> Show all SVTs for all intersections in all directions Please add the following note to plans. "Existing City trees and irrigation are to remain in place." SVT on Arizona Avenue is blocked by Trash Enclosure. Trees and plants on north side are too close the public sidewalk. Tree on the west side of project will conflict with the exiting tree. <p>If you have any questions please contact me.</p> <p>Thank you,</p> <p>David Marhefka David.Marhefka@tucsonaz.gov</p>
3/25/2019	ALEXANDRA HINES	COT NON-DSD	ENVIRONMENTAL SERVICES	Reqs Change	<p>The Environmental & General Services Department has completed our review of the Development Package for The Station proposed to be located at 901 S. 6th Avenue in Tucson. Food service, brewery and cafe facilities are proposed for this site.</p> <p>The waste generation calculations on Sheet 1 of 10 were reviewed and found to be accurate. It is proposed to provide one 2 cubic yard container for refuse and one 2 cubic yard container for recycling materials. The two metal containers would be stored in one enclosure designed and constructed in accordance with Figure 3A in Section 8 : Solid Waste and Recycle Disposal, Collection and Storage of the Tucson Technical Standards Manual.</p> <p>The waste and recycling enclosure is proposed to be located on the east-central portion of the subject site. It appears that opening of the gates of the enclosure to the east would extend into a portion of S. Arizona Avenue. What approvals, if any, would be required for this design? Are the containers to be serviced at the enclosure location or will the containers be rolled out of the enclosure and positioned somewhere else around the property for servicing? It appears there are refuse vehicle maneuvering issues and overhead utility issues with servicing the containers at the enclosure location. Please have the applicant explain the proposed servicing procedures for this site.</p> <p>Let me know if there are any questions concerning this review.</p> <p>Thanks.</p> <p>Tom Ryan, P. E. City of Tucson - Environmental & General Services Department Thomas.Ryan@tucsonaz.gov</p>
4/4/2019	SBEASLE1	OTHER AGENCIES	TUCSON AIRPORT AUTHORITY	Reqs Change	<p>March 29, 2019 Sharon Beasley Permit Technician City of Tucson Public Works Buildings - 201 North Stone Avenue Tucson, AZ. 85701 RE: DP19-0063 The Station, 1st Submittal, Received March 19, 2019 Dear Ms. Beasley, Thank you for the opportunity to comment on DP19-0063, The Station, 1st Submittal, a development package application for an approximately 0.37 acre site, located southeast of the intersection of East 19th Street and South 6th Avenue. The property is zoned Commercial 3 (C-3), with the proposed development being a food service use; a brewery and cafe.</p>

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					<p>This site is within the Tucson International Airport avigation easement requirements and public disclosure area, FAA traffic pattern airspace, and FAA Part 77 airspace. The Tucson Airport Authority conditionally approves the subject request contingent upon the following condition of approval, as noted below. This condition shall be identified in the general notes of the revised development plan. Condition of approval: 1. "According to the FAA Notice Criteria Tool, this project is located in proximity to a navigation facility and could impact navigation signal reception. The applicant shall file Form 7460 with the FAA at least 45 days before construction activities begin for the project. It is highly recommended that the applicant file earlier than 45 days to provide the applicant with sufficient time to respond to any concerns which are identified by the FAA. Any cranes used which are used must also be identified with Form 7460. Please file Form 7460 at https://ceaaa.faa.gov/ceaaa/external/portal.jsp" Although this project does not propose a change in plan designation or zoning the Tucson Airport Authority highly recommends the City of Tucson consider requiring the applicant to add the following note into the general notes of the revised development plans. This project is located approximately 5 ¼ miles northwest of Tucson International Airport and is within FAA traffic pattern airspace, an area which would be subject to aircraft overflight and noise due to being in close proximity to Tucson International Airport. The proposed note would provide a means of assuring that future owners and tenants of the property are aware they are in proximity an airport and further assures the continued right of the City of Tucson, Tucson Airport Authority, and all persons lawfully utilizing the Tucson International Airport the right to utilize the airspace above or near the property. This would be accomplished through requiring the property owner to record the Avigation Easement. The Tucson Airport Authority believes the proposed note helps to support the City of Tucson Airport Environs Overlay Zone and supports Plan Tucson - Regional and Global Positioning policy 4 (RG-4). 1. "That prior to the City's approval of any construction permit for a permanent building, the property owner shall record the Avigation Easement which discloses the existence, and operational characteristics of the Tucson International Airport to future owners or tenants of the property and further conveys the right to the public to lawfully use the airspace above the property. The Avigation Easement shall be recorded in a manner with the Pima County recorder which shall document it as having title liability. The content of such documents shall be according to the form and instructions provided." The current property owner or person authorized to sign on behalf of the current property owner shall complete, sign, and record the Avigation Easement. Please record the Avigation Easement with the Pima County Recorder's Office. Once the Avigation Easement is recorded please send a complete copy of the recorded easement document to Tucson Airport Authority by either email (send to srobidoux@flytucson.com) or to the mailing address provided below. Scott Robidoux Senior Airport Planner Tucson Airport Authority 7250 South Tucson Boulevard Suite 300 Tucson, AZ 85756</p> <p>Please do not hesitate to contact me if you have any questions or concerns regarding this comment letter. I can be reached by email at srobidoux@flytucson.com or by telephone at 520-573-4811. Respectfully, Scott Robidoux, Senior Airport Planner</p>
4/10/2019	ALEXANDRA HINES	COT NON-DSD	PARKS & RECREATION	Approved	<p>No existing or proposed Tucson Parks and Recreation facilities are affected by this development. Howard B. Dutt, RLA Landscape Architect/Tucson Parks & Recreation(520) 837-8040 Howard.Dutt@tucsonaz.gov</p>
4/12/2019	ROBERT SHERRY	PLUMBING-COMMERCIAL	REVIEW	Completed	None

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4/15/2019	ZELIN CANCHOLA	COT NON-DSD	TRAFFIC	Reqs Change	<p>April 15 2019 ACTIVITY NUMBER: DP19-0063 PROJECT NAME: The Station PROJECT ADDRESS: 901 S 6th Avenue PROJECT REVIEWER: Zelin Canchola TDOT</p> <p>Resubmittal Required: The following items must be revised and added to the Development package.</p> <ol style="list-style-type: none"> 1. Verify existing ramps for ADA slope requirements. Replace and show new Pedestrian ramps along 19th street/6th Av, and 19th/5 Arizona Av if they do not meet current standards. 2. Minimum Driveway width along 6th Avenue is 24 feet. Use PAG standard detail for driveway. <p>If you have any questions, I can be reached at 520 837 6659 or zelin.canchola@tucsonaz.gov</p>
4/17/2019	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	<p>ADMINISTRATIVE MANUAL SECTION 2-10.0.0: LANDSCAPE PLAN REQUIREMENTS 4.1 Identification and Descriptive Data A. All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan. B. The landscape plan will contain the following identification in the lower right corner of each sheet: Cross-reference to: Board of Adjustment case; Any other relevant case number for reviews or modifications that affect the site.</p> <p>ARTICLE 7: DEVELOPMENT STANDARDS</p> <p>7.6. LANDSCAPING AND SCREENING Street Landscape Borders</p> <p>To enhance the visual appearance of the streetscape, a street landscape border is required in accordance with Table 7.6.4-1 along the street frontage of a site as follows, except as provided in Section 7.6.4.C.4, Exceptions to the Landscape Border Standards:</p> <p>a. Minimum Width Street landscape borders must be a minimum of ten feet wide as measured from the street property line.</p> <p>10' wide landscape buffer is required along 6th Ave, 19th Street, and Arizona Ave.</p> <p>Located on Site Street landscape borders must be located entirely on site, except that, if approved by the City Engineer or designee, up to five feet of the required ten foot width may be placed within the adjacent right-of-way</p> <p>Use of the Public Right-of-Way Non-required landscaping may be placed in the public right-of-way, if the following standards are met:</p> <ol style="list-style-type: none"> 1. The landscaping is approved by the City Engineer or designee and complies with the City Engineer's standards on construction, irrigation, location, and plant type; 2. All vegetation complies with the standards of Section 7.6.4, Landscaping Standards; and,

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					<p>3. The landscaping does not interfere with the use of the sidewalk.</p> <p>Obtain permission for use of ROW.</p> <p>Screening for individual land uses and zones must be provided as determined in Table 7.6.4-1 and in addition to the required landscape borders. Screening is not required between similar uses in accordance with Table 7.6.4-1.</p> <p>Identify any screening elements on Landscape plan</p> <p>Ensure that all Zoning and Engineering comments and concerns are addressed.</p> <p>Additional comments may apply</p>
4/19/2019	MGAYOSS1	DESIGN PROFESSIONAL	REVIEW	Denied	<p>3/20/19 - Maria Gayosso Applicant still needs to file for IID application.</p>
4/23/2019	DAVID RIVERA	ZONING	REVIEW	Reqs Change	<p>CDRC TRANSMITTAL</p> <p>TO: Development Services Department Plans Coordination Office</p> <p>FROM: David Rivera PDSZ Zoning Review Section</p> <p>PROJECT: The Station - Commercial Use Group / Food Service Use Development Package (1st Review) 901 5 6th Avenue DP19-0063 - C-3 Zoning (Project Applicant Is Requesting Modifications Under the GIID Overlay)</p> <p>TRANSMITTAL DATE: April 23, 2019 DUE DATE: April 17, 2019</p> <p>COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.</p> <p>Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is March 14, 2019.</p> <p>2-06.4.3 - The administrative street address and relevant case numbers (development package document, subdivision, rezoning, board of adjustment, DDO, MDR, D5MR, overlay, etc.) shall be provided adjacent to the title block on each sheet.</p> <p>1. COMMENT: Provide the development package case number, DP19-0063, adjacent to the title block on each sheet.</p> <p>2-06.4.4 - The project-location map to be located on the first sheet of the development package in the upper</p>

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					<p>right corner, shall cover approximately one square mile, be drawn at a minimum scale of three inch equals one mile, and provide the following information.</p> <p>2-06.4.4.B - Identify major streets and regional watercourses within the square mile area and all streets that abut the subject property; and,</p> <p>2. COMMENT: Label Cushing Street and Church Avenue on location map.</p> <p>2-06.4.7 - General Notes</p> <p>2-06.4.7.A.4 - Identify the existing and proposed use of the property as classified per the UDC. List all UDC sections applicable to the proposed uses.</p> <p>3. COMMENT: Clarify if the Food Service use will include the alcohol service or a microbrewery as an accessory use? If so list the alcohol use and microbrewery as an accessory use to the Primary Food Service use.</p> <p>Include a note under the use note that clearly states the applicant's intention to use the IID zoning option in lieu of the existing underlying zoning.</p> <p>2-06.4.7.A.6 - If a plan or plat is prepared in conjunction with other applications or overlays or the parcel being developed is subject to conditions of an application processed previously, additional information must be added to the plan. Such applications and overlays include, but are not limited to: annexations; rezonings; special exceptions; Board of Adjustment variances; Design Development Options; Technical Standard Modification Request; overlays (Airport Environs Zone, Environmental Resource Zone, Gateway Corridor Zone, Hillside Development Zone, Historic Preservation Zone, Major Streets and Routes, Rio Nuevo District, Scenic Corridor Zone, WASH); Modification of Development Regulations through the Downtown Area Infill Incentive District or Rio Nuevo District; Downtown Heritage Incentive Zone; or, Design Review Board. Provide the following information on the plan.</p> <p>4. COMMENT: It is clear that this project is designed with only 3 onsite parking spaces. In total, 65 parking spaces are required for the food service use and all parking spaces must be provided on site. The project site is within the GIS overlay district and may qualify for modifications for 25% vehicle parking modification. On street parking is not an exception listed under the GIS section 5.12.C.2.c.1 or .2. No additional parking has been identified on the DP.</p> <p>I do not believe that the reduction for vehicle parking under the UDC can be used in conjunction with the IID overlay. Revise the parking calculations accordingly. Contact PDSD's Planners Maria Gayosso or Carolyn Laurie for information on the IID process and available options and exceptions to development requirements</p> <p>2-06.4.7.A.6.a - List additional applications and overlays, by case number (if applicable), in lower right corner of each sheet. As a general note provide the type of application processed or overlays applicable, a statement that the project meets the criteria/conditions of the additional application or overlay, the case number, date of approval, what was approved, and the conditions of approval, if any.</p> <p>5. COMMENT: If in fact the GIID overlay process is used a GIID case number will be assigned to this project. List the case number as reference next to the title block and as a general note with any modifications requested and approved as well as any conditions of the GIID application.</p> <p>2-06.4.7.A.8.a - Floor area for each building;</p> <p>6. COMMENT: Under general note five (5) the paved area is listed as 3,474 sf. It does not appear that the</p>

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					onsite vehicular use area is 1,000 sf., where is the additional paved area? Offsite paving is not counted towards onsite vehicular use areas. Revise general note 5 accordingly.
					2-06.4.9.H.5 - If utilizing parking area access lanes (PAALs), they shall be designed in accordance with Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.
					7. COMMENT: The vehicle parking area does not meet the minimum PAAL width of 24 feet. A PDMR approval would be required unless it is determined that the under the IID the Vehicular use can be modified as depicted.
					2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces provided, fully dimensioned. As a note, provide calculations on the number of spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. The drawing should indicate parking space locations for the physically disabled. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.
					8. COMMENT: The proposed reduction to reduce the number of vehicle parking spaces cannot be used in conjunction with the GIS overlay. Approval of the vehicle parking reduction must be approved through the GIS review and approval process. Keep in mind that the total number of vehicle parking spaces is 65 and that the number of ADA spaces required is based on 65, 3 ADA spaces with one being a van accessible space are required for this project. Two ADA spaces are depicted on the DP and are proposed on-street. As of this review it is not clear if the ADA spaces as depicted will be approved. The number of ADA spaces cannot be waived through any UDC modification or variance. Additional comments may be forth coming on this standard. (Contact the PDSZ ZA for clarification)
					2-06.4.9.H.5.b - If any of the required parking is located off-site as permitted by the UDC, a drawing of that parking area is to be provided, together with the city's required parking agreement (include a copy of the lease agreement if applicable) must be provided. Please remember that in these situations, if the off-site parking location is a new parking area, it must comply with all parking area requirements and must be allowed as a principal use by the zoning classification of that property. If the off-site parking area location is an existing parking lot, the parking spaces utilized for the proposed land use must be non-required parking for the existing use for which the parking area was established.
					9. COMMENT: If there is any vehicle parking proposed off-site (not on the street) a detail drawing of the location and ADA pedestrian circulation path must be identified on the DP.
					2-06.4.9.H.5.d - Show bicycle parking facilities fully dimensioned. For specifics, refer to Section 7.4.9, Bicycle Parking Design Criteria, of the UDC. Provide, as a note, calculations for short and long term bicycle spaces required and provided.
					10. COMMENT: It appears that the short term bicycle parking facilities are proposed within the R/W and on-site. Approval as proposed will be evaluated during the GIS review and approval process.
					2-06.4.9.I - Show all right-of-way dedications on or abutting the site and label. If the development package documents have been prepared in conjunction with a subdivision plat or is required as a condition of approval of a review process, such as a rezoning, street dedications in accordance with the Major Streets and Routes (MS&R) Plan may be required by these processes.

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City of Tucson

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>Projects bounded by streets having only a portion of the right-of-way width dedicated will be required to dedicate right-of-way, up to one-half, to complete the street width. Should there be any proposed street or alley vacation, provide this information. If vacation has occurred, include the recording information.</p> <p>11. COMMENT: Contact TDOT for information about future right of way dedication for 6th Avenue. Include any the future right of way, labeled and dimensioned on the site plan sheets.</p> <p>2-06.4.9.O - All applicable building setback lines, such as erosion hazard, floodplain detention/retention basins, and zoning, including sight visibility triangles, will be shown.</p> <p>12. COMMENT: Label the street setback from the building overhang to the nearest edge of travel lane along the 19th street frontage.</p> <p>2-06.4.9.Q - Provide the square footage and the height of each commercial, industrial, or business structure and the specific use proposed within the footprint of the building(s).</p> <p>13. COMMENT: Label the structure height of the patio area adjacent to the building 1.</p> <p>14. COMMENT: Address all reviewer comments and DRC comments. Revise the plans accordingly and resubmit for review. Include any DRC review document with the next submittal of the DP.</p> <p>If you have any questions about this transmittal, Contact David Rivera on Tuesday, or Wednesday at (520) 837-4957 or by email David.Rivera@tucsonaz.gov or contact Steve Shields any time during the week at (520) 837-4956 or email Steve.Shields@tucsonaz.gov</p> <p>RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package</p>
4/23/2019	DAVID RIVERA	ZONING HC	REVIEW	Reqs Change	see zoning comments
4/24/2019	SBEASLE1	COT NON-DSD	REAL ESTATE	Approved	<p>Real Estate Department has no comment at this time.</p> <p>Michael J. Hollar SENIOR PROPERTY AGENT REAL ESTATE DIVISION DEPARTMENT OF TRANSPORTATION</p> <p>CITY OF TUCSON 201 N. Stone Ave, 6th Floor Tucson, AZ 85701 Direct: 520-837-6784 Main: 520-791-4371</p>
4/25/2019	ALEXANDRA HINES	COT NON-DSD	COMMUNITY PLANNING	Passed	None

4/29/2019

City of Tucson

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
4/26/2019	TOM MARTINEZ	OTHER AGENCIES	AZ DEPT TRANSPORTATION	Approved	<p>Regional Traffic Engineering has no comments on this submittal because of the location and any impacts to ADOT facilities. Regional Traffic supports its acceptance. Thank you</p> <p>Tom Martinez Arizona Dept. of Transportation TMartinez@Azdot.gov</p>
4/26/2019	JOHN VAN WINKLE	ENGINEERING	REVIEW	Reqs Change	<p>DP19-0063</p> <p>1) Provide written approval from TDOT and General Services for the placement of the proposed trash enclosure. Current placement does not provide for proper service vehicle maneuvering. Swing gates extend into Right of Way 2) Show on plans that all existing non-compliant curb access ramps, on or around the site, will be updated to PAG standard 207 and be in compliance with ICC A117 3) Show on plans all applicable site visibility triangles 4) All vehicular use areas are to be designed in compliance with City of Tucson Unified Development Code section 7.4. Current parking area areas do not meet minimum width requirements and show vehicles backing onto the E 19th St</p> <p>John Van Winkle, P.E. John.VanWinkle@tucsonaz.gov 520-837-5007</p>

Showing 1 to 21 of 21 entries

Previous 1 Next

Parcel Number: 117-08-2410

Property Address			
Street Number	Street Direction	Street Name	Location
901	S	6TH AV	Tucson

Contact Information	
Property Owner Information: THE STATION ON 6TH AVE LLC 3351 E CAMINO CAMPESTRE TUCSON AZ 85716-5829	Property Description: TUCSON LOT 2 BLK 144

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2019	COMMERCIAL (1)	18.0	\$85,379	\$88,521	\$173,900	\$161,049	\$28,989
2020	COMMERCIAL (1)	18.0	\$85,379	\$88,521	\$173,900	\$169,101	\$30,438

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map:	2	Plat:	4	Block:	144
Tract:		Land Measure:	12,197.00F	Lot:	00002
Census Tract:	900	File Id:	1	Group Code:	000
Use Code:	1770 (AUTO REPAIR GARAGE AUTOS/LIGHT TRUCKS)			Date of Last Change:	6/23/2016

Sales Information (1)							
Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20161540372	1	6/2016	Commercial/Industrial	\$200,000	\$200,000	Y	X DLM

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	01020201	02004 DEL	30

Recording Information (4)				
Sequence No.	Docket	Page	Date Recorded	Type
20161540372	0	0	6/2/2016	WTDEED
20040060854	12214	3867	1/9/2004	QCDEED
20021520924	11858	4184	8/7/2002	JTDEED
92126828	9366	212	8/31/1992	

Commercial Characteristics				
Property Appraiser: Bill Boren Phone: (520) 724-3096				
Commercial Summary				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	3,478	\$77,232	\$0	\$88,521

Commercial Detail							
SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1936	178/3	0000000	1,742	\$106,506	\$40,046	AUTOMOTIVE REPAIR
002-001	1946	178/3	0000000	1,736	\$98,899	\$37,186	AUTOMOTIVE REPAIR

Permits (1)											
Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T04EL00552	MOTH ~ FINAL	03/18/2004	03/25/2004	TUC	\$0	0	2/4	05/06/2005	05/06/2005		0
Description: DOWNGRADE TO SINGLE PHASE 100 AMP (APA)											



Pima County Geographic Information Systems

Parcel 117-08-2410

Read the [Disclaimer](#). Information on this page is **unofficial**.

Mail name and address	Legal description
117-08-2410 THE STATION ON 6TH AVE LLC 3351 E CAMINO CAMPESTRE TUCSON AZ 85716-5829	TUCSON LOT 2 BLK 144

Situs (property) address

[\(About situs addresses\)](#)

Street Address	Jurisdiction	Postal City	Zip Code
901 S 6TH AV	TUCSON	TUCSON	85701 <input type="button" value="ZIP+4 Lookup"/>

Information for this parcel

- For Assessor parcel details, copy and paste Parcel ID 117082410 into the [Pima County Assessor's Parcel Search](#). We cannot link directly. Also see [Assessor Record Maps](#).
- [Real Estate Property Tax Inquiry](#) and [Property Tax Statement](#) from the [Pima County Treasurers's Office](#).
- Recorded Information** from the [Pima County Recorder's Office](#)
 - [Recorded Document](#) for Sequence Number 20161540372.
 - [Voter Precinct and Districts](#)
- [Subdivision Plat Map](#) for Book 2, Page 4.
- Pima County [Sanitary Sewer Connection Search](#) from the [Pima County Regional Wastewater Reclamation Department](#).
- Permits** from [Pima County Development Services](#)
 - [Permit Database Search](#)
 - [Historical Permit Cards](#) - Prior to about 1998
- [Development Activity Records](#) (permit, plat, rezoning) from [City of Tucson Planning and Development Services Property Research Online](#).
- [Section Information and Maps](#) for Township 14S, Range 13E, Section 13.
This parcel's GIS [overlay details Grids group](#) is a **more complete analysis** of sections when parcel boundaries extend outside of the listed section.
- Floodplain Information** from the [Pima County Regional Flood Control District](#)
 - [Parcel Floodplain Information](#). See [FEMA Digital Flood Insurance Rate Maps \(DFIRMs\)](#) for more.
 - City of Tucson jurisdiction. See [City of Tucson Floodplain Information](#) or call (520) 791-5609.

Over 100 parcel details from GIS overlay analysis

[Learn more](#) about parcel GIS overlay details. See a [list of all details](#).

Airports Associations Census Comprehensive Plan-Pima Prospers Development Floodplain-Defined by Pima County RFCD Floodplain-FEMA Governmental Districts and Areas	Grids Incentive Zones Jurisdictions Landscape Classifications Miscellaneous Other Regulatory Areas PC Gov. Property Rights Public Safety	Schools Sonoran Desert Conservation Plan Transportation Utilities Zoning
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Parcel GIS geometry details

Accuracy is limited to that of the GIS parcel data. All data is subject to this [disclaimer](#).

Parcel centroid coordinates	Approximately 32.210538 degrees latitude, -110.968101 degrees longitude.
Parcel area	<p>This is only an estimate from GIS data. The Subdivision Plat Map may also specify parcel area. See Finding Parcel Areas.</p> <p>Approximately 0.29 acres or 12,671 square feet.</p>

Zoom to maps of the parcel's area

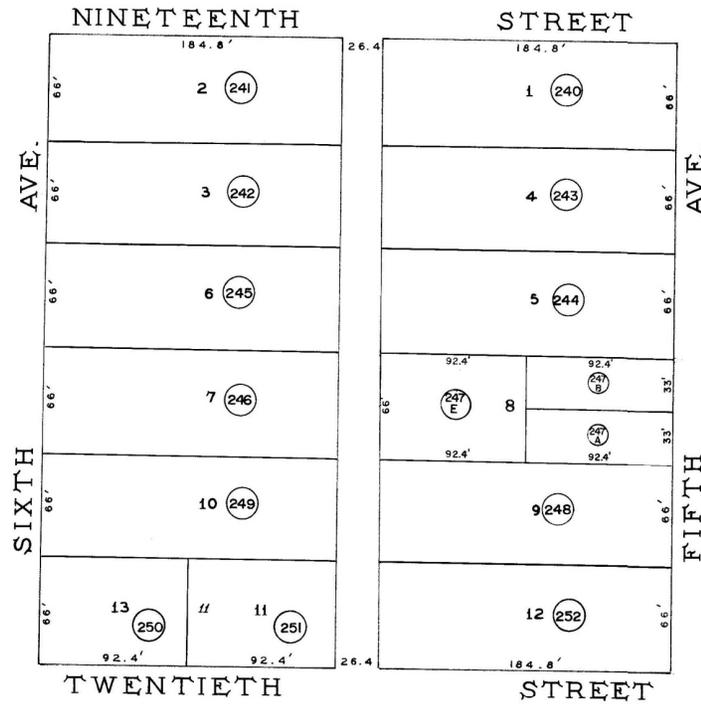
PimaMaps <ul style="list-style-type: none"> Main map Survey map 	Oblique Aerial Photos You can change the view (N,S,E,W) or pan and zoom the oblique photo. If the parcel centroid is outside the oblique photo area, either a flat map is shown or the page remains empty. Pictometry Photos (Legacy Internet Explorer Viewer) Learn more bing Bing Maps Photos	Google Area Map Area Map bing Area Map
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ASSESSOR'S RECORD MAP

117-08
17/23

Block 144, CITY OF TUCSON

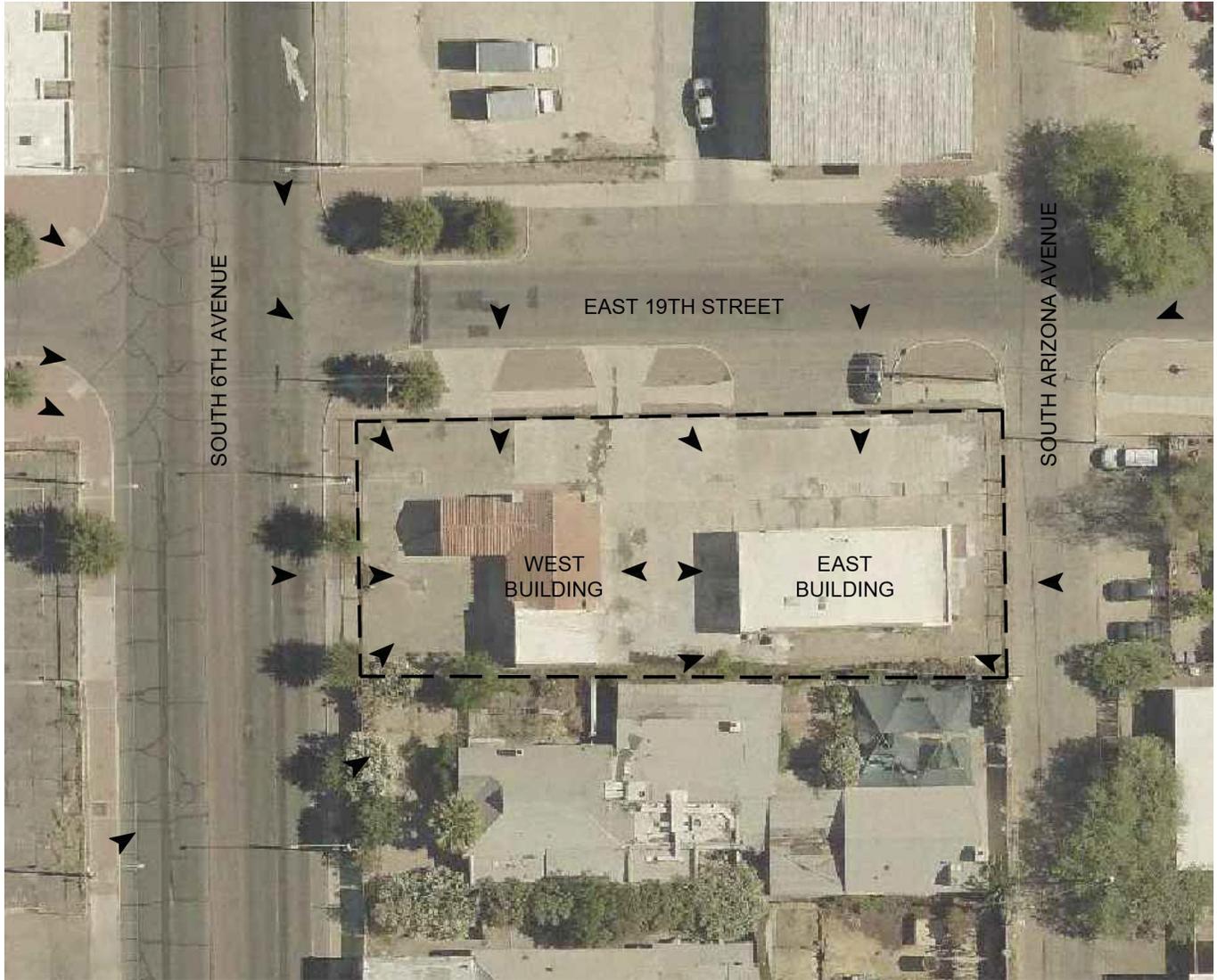
134



SCALE-1"= 50'

SEE BOOK 2, PAGE 4 M & P.
1976

REPP/MCLAIN TRACING GROUP
P.O. BOX 1000
TUCSON, AZ 85701





Site looking south



Site looking southeast



Site looking east



Site looking southeast



Site looking northeast



West building south elevation



West building looking northeast



West building looking east



West building east elevation



Site looking southeast 2



West building looking southeast



Site looking southeast 2



West building north elevation



West building east elevation



East building looking southeast



East building west elevation



East building partial south elevation



East building looking south



East building north elevation



Site looking southwest



East building looking west



East building partial south elevation





756 S 6th Ave



733 S 6th Ave



804 S 6th Ave



803 S 6th Ave



Surrounding street looking south



811 S 6th Ave



819 + 827 S 6th Ave



829 S 6th Ave



820 S 6th Ave



840 S 6th Ave



842 S 6th Ave



847 S 6th Ave



916 S 6th Ave



937 S 6th Ave



934 S 6th Ave



947 S 6th Ave



HISTORIC PRESERVATION REVIEW APPLICATION

Date Submitted: 2019.06.14 PSD Activity Number: DP19-0063

HPZ Case Number:

Property Development Name: the station - pueblo vida brewing

Property Address: 901 SOUTH 6TH AVENUE

Pima County Assessor Parcel Number(s): 117 - 08 - 2410

HPZ: [] Armory Park [] Barrio Historico [] El Presidio [] Fort Lowell [] West University

Applicant Name: repp mcclain design + construction [] Owner [x] Architect/Designer [] Other

Applicant Address: 2501 NORTH 1ST AVENUE

City/State/Zip: TUCSON / ARIZONA / 85719

Phone: 520.791.7035 Email: jenni@reppmcclain.com

Property Owner Name: Howard Hays + Denise Grenier

Property Owner Phone: (602) 316-1225 Howard Hays + (520) 404-2951 Denise Grenier

Property Owner Email: howardhays@outlook.com + dgrenier901@gmail.com

Description of Use (if Resident Artisan): restaurant use with microbrewery accessory use

Signature of Owner:

Signature of Applicant (if not owner): [Handwritten Signature] 2019.06.14

PROPOSED NEW CONSTRUCTION or ALTERATION
Site with two existing buildings: East Building 1,696 SF and contributing historic
West Building 1,108 SF both buildings scheduled to remain. New restroom building 348 SF
proposed between the two existing buildings. New patios proposed at each building,
West Patio 469 SF and East Patio 747 SF.

By state law, we cannot initiate a discussion with you about your rights and options,
but we are happy to answer any questions you might have.

HPZ Application Cover Sheet and Checklist

Planning & Development Services Department, City of Tucson

HPZ Case No. _____ Date Accepted: _____

Activity No. DP19-0063 Site Address: 901 SOUTH 6TH AVENUE

HPZ: Armory Park Barrio Historico El Presidio Fort Lowell West University

Historic Status: Contributing Non-Contributing Vacant

Applicant Name: repp mclain design + construction Owner Architect/Designer Other:

Owner (if different): Howard Hays + Denise Grenier

Brief Description of Proposed Work: Contributing historic West Building 1,108 SF scheduled to remain. West Building historic doors and windows on east elevation have been covered by stucco under previous use, we proposed to bring historic doors and windows back and keep existing stucco and clay tile roof as is.

Type of Review: Full Minor Rio Nuevo Area Infill Incentive District

Development Zone: Interior Lot Corner Lot Historic District Boundary Lot

HZAB and/or PRS courtesy review(s) conducted prior to application submission? Yes No

HZAB Review Date(s): Armory Park Historic Zone Advisory Board 2018.12.18

PRS Review Date(s): _____

Minor	Major	Required Materials
<input type="checkbox"/>	<input type="checkbox"/>	Fee
<input type="checkbox"/>	<input type="checkbox"/>	Completed and signed HPZ Application form
<input type="checkbox"/>	<input type="checkbox"/>	Final UDC Compliance Review Zoning comments as issued by PDSD staff
<input type="checkbox"/>	<input type="checkbox"/>	Description and photographs* of type, color and texture of proposed materials
<input type="checkbox"/>	<input type="checkbox"/>	Brief statement of proposal on separate 8½" x 11" pages, outlining scope of work subject to design guidelines in UDC 5.8.9
<input type="checkbox"/>	<input type="checkbox"/>	Dated site plan and elevations, large size, drawn to scale and folded to city standard*
<input type="checkbox"/> 3 hard copies & 1 PDF	<input type="checkbox"/> 10 hard copies & 1 PDF	Dated site plan and elevations (same as above) at 11" x 17"
<input type="checkbox"/> 1 hard copy & 1 PDF	<input type="checkbox"/> 10 hard copies & 1 PDF	Aerial photograph* of property with development zone drawn and labeled, printed on 8½" x 11" page. All buildings footprints within the development zone must be shown and labeled to indicate contributing/non-contributing historic status.
<input type="checkbox"/>	<input type="checkbox"/>	Arizona Historic Property Inventory Form (if available)
<input type="checkbox"/>	<input type="checkbox"/>	Photographs* of the project site and surrounding area
<input type="checkbox"/>	<input type="checkbox"/>	Photographs* of building elevations (north, south, east, west) <input type="checkbox"/> Not applicable

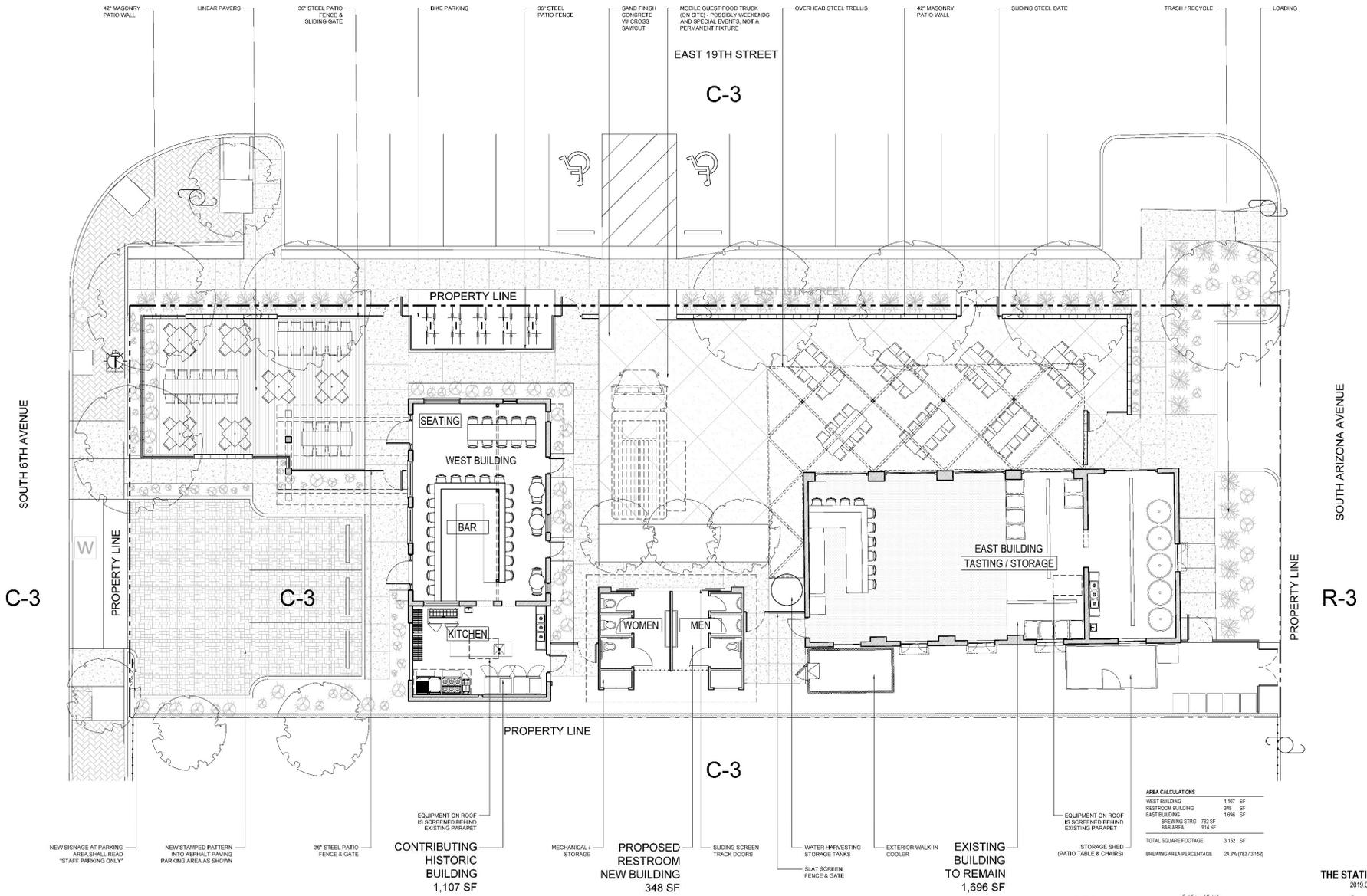
*All photographs must be in color and at least 4" x 6" in size with the address and captions explaining relevance to project.

Artisan HPZ Review

- 50' Notice Procedure
 Fee for Notice Procedure

Incomplete or illegible applications will not be accepted.

Revised January 2019



AREA CALCULATIONS

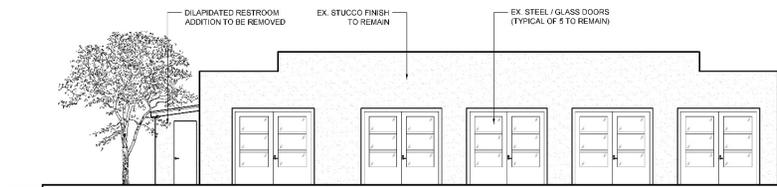
WEST BUILDING	1,107 SF
RESTROOM BUILDING	348 SF
EAST BUILDING	1,696 SF
BREWING STRG	392 SF
BREW AREA	214 SF
TOTAL SQUARE FOOTAGE	3,157 SF
BREWING AREA PERCENTAGE	24.9% (782/3,152)

THE STATION
2019.08.28

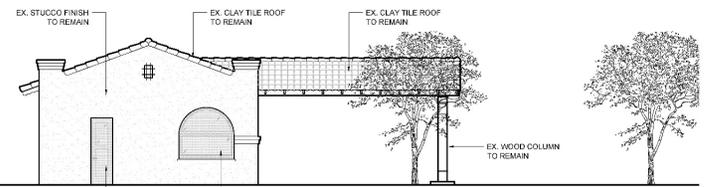
CYPRESS
CIVIL DEVELOPMENT

the original distillers
PUEBLO VIDA
BREWING CO

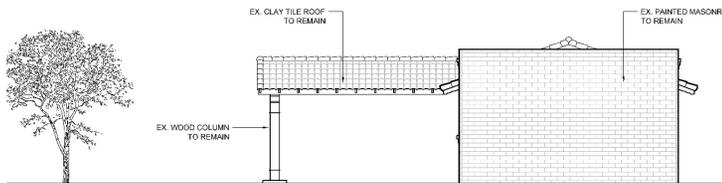
repp+mclain
design and construction



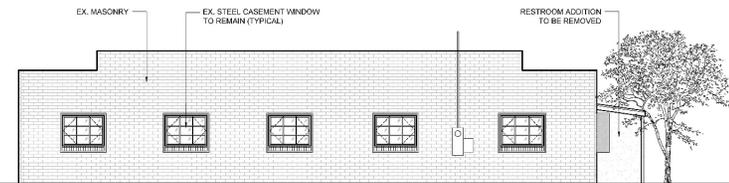
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NORTH ELEVATION (EXISTING)



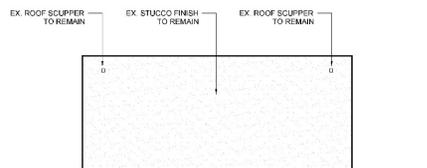
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NORTH ELEVATION (EXISTING)



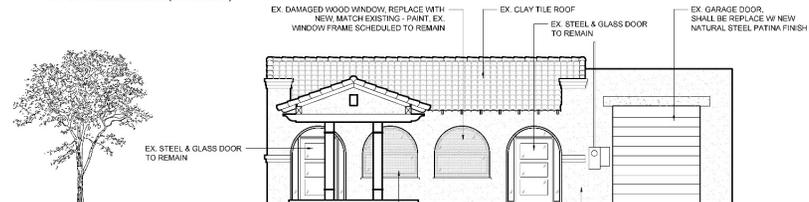
WEST BUILDING (CONTRIBUTING BUILDING)
SOUTH ELEVATION (EXISTING)



EAST BUILDING (NON-CONTRIBUTING BUILDING)
SOUTH ELEVATION (EXISTING)



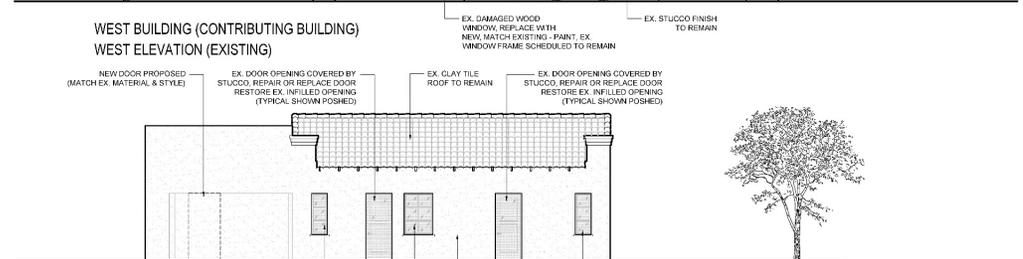
EAST BUILDING (NON-CONTRIBUTING BUILDING)
WEST ELEVATION (EXISTING)



WEST BUILDING (CONTRIBUTING BUILDING)
WEST ELEVATION (EXISTING)



EAST BUILDING (NON-CONTRIBUTING BUILDING)
EAST ELEVATION (EXISTING)



WEST BUILDING (CONTRIBUTING BUILDING)
EAST ELEVATION (EXISTING)



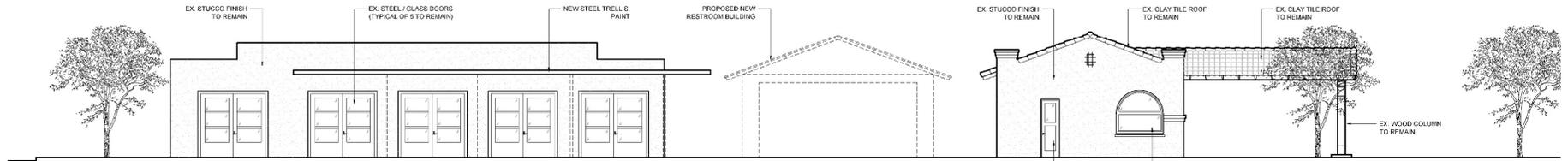
WEST BUILDING (CONTRIBUTING BUILDING)
WEST ELEVATION (EXISTING)

EXISTING BUILDING ELEVATIONS

CYPRESS
CIVIL DEVELOPMENT

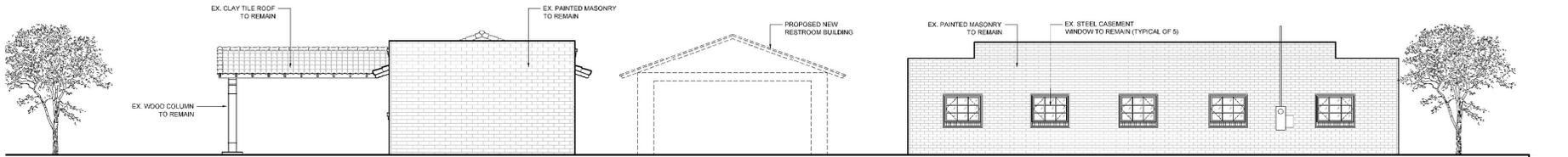
repp+mclain
design and construction

THE STATION
2019.07.10



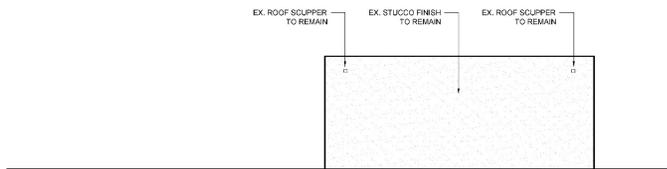
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NORTH ELEVATION (BUILDING)

WEST BUILDING (CONTRIBUTING BUILDING)
NORTH ELEVATION (BUILDING)

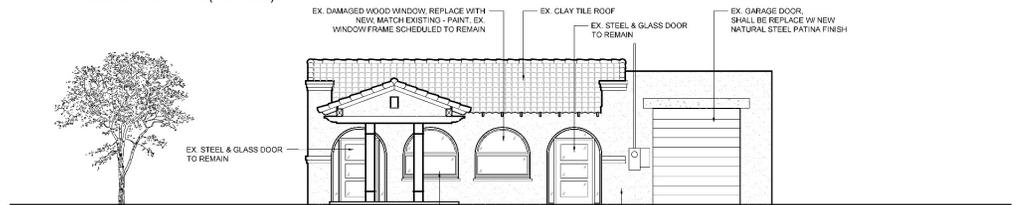


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SOUTH ELEVATION (BUILDING)

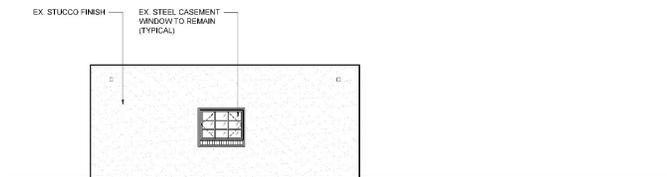
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SOUTH ELEVATION (BUILDING)



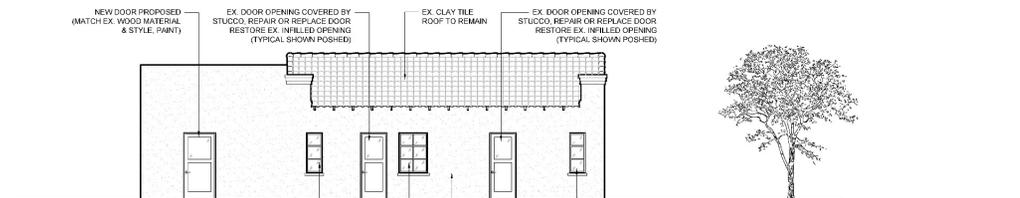
EAST BUILDING (NON-CONTRIBUTING BUILDING)
WEST ELEVATION (BUILDING)



WEST BUILDING (CONTRIBUTING BUILDING)
WEST ELEVATION (BUILDING)



EAST BUILDING (NON-CONTRIBUTING BUILDING)
EAST ELEVATION (BUILDING)



WEST BUILDING (CONTRIBUTING BUILDING)
EAST ELEVATION (BUILDING)

PROPOSED BUILDING ELEVATIONS

CYPRESS
CIVIL DEVELOPMENT

PUEBLO VIDA
BREWING CO

repp+mclain
design and construction

THE STATION
2019.08.26

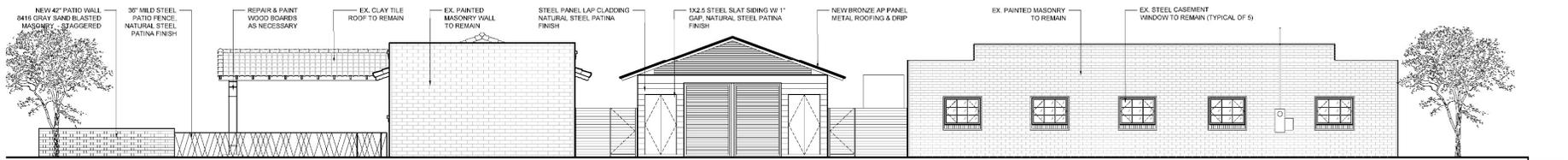
THE STATION
2019.06.14



EAST BUILDING (NON-CONTRIBUTING BUILDING)
NORTH ELEVATION (SITE CONTEXT)

RESTROOM BUILDING (NEW BUILDING)
NORTH ELEVATION (SITE CONTEXT)

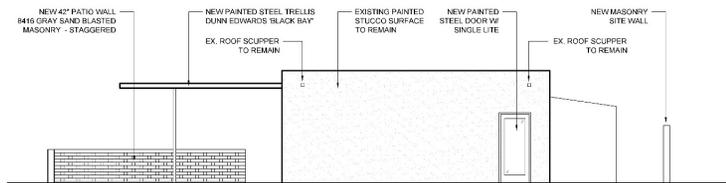
WEST BUILDING (CONTRIBUTING BUILDING)
NORTH ELEVATION (BUILDING)



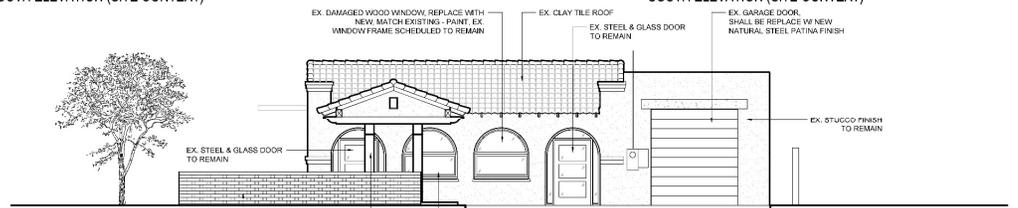
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SOUTH ELEVATION (SITE CONTEXT)

RESTROOM BUILDING (NEW BUILDING)
SOUTH ELEVATION (SITE CONTEXT)

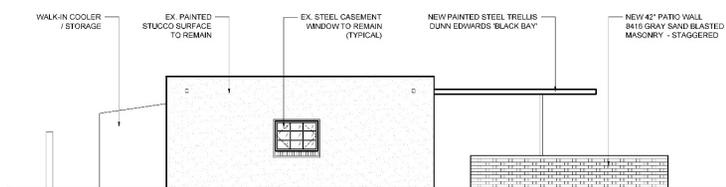
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SOUTH ELEVATION (BUILDING)



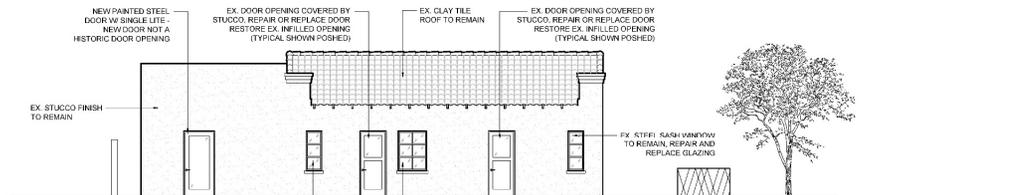
EAST BUILDING (NON-CONTRIBUTING BUILDING)
WEST ELEVATION (SITE CONTEXT)



WEST BUILDING (CONTRIBUTING BUILDING)
WEST ELEVATION (SITE CONTEXT)



EAST BUILDING (NON-CONTRIBUTING BUILDING)
EAST ELEVATION (SITE CONTEXT)



WEST BUILDING (CONTRIBUTING BUILDING)
EAST ELEVATION (SITE CONTEXT)

PROPOSED BUILDING ELEVATIONS
WITH SITE CONTEXT

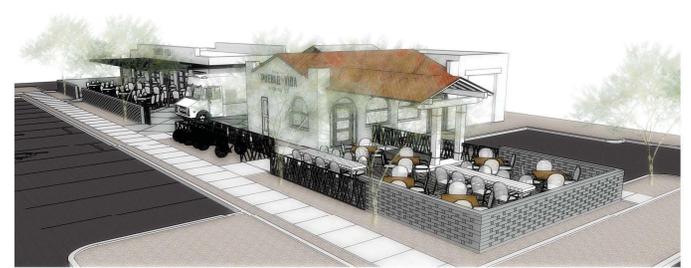
CYPRESS
CIVIL DEVELOPMENT

PUEBLO VIDA
BREWING CO

repp+mclain
design and construction

THE STATION
2019.07.10

THE STATION
2019.06.14





EAST ELEVATION EXISTING WINDOW



SOUTH ELEVATION VIEW



NORTH ELEVATION VIEW



NORTHWEST ELEVATION VIEW



EAST ELEVATION EXISTING WINDOW



EAST ELEVATION VIEW



NORTHWEST ELEVATION VIEW



AERIAL / NORTH ELEVATION VIEW - 901 SOUTH 6TH AVENUE



NORTH ELEVATION EXISTING DOOR



WEST ELEVATION EXISTING WINDOW



WEST ELEVATION VIEW



SITE AERIAL - 901 SOUTH 6TH AVENUE



EXISTING WINDOW HARDWARE



EXISTING WINDOW HARDWARE



SOUTHWEST ELEVATION VIEW

EXISTING SITE / BUILDING PHOTOS CONTRIBUTING BUILDING



733 SOUTH STONE AVENUE



760 SOUTH STONE AVENUE



919 SOUTH 6TH AVENUE



919 SOUTH 6TH AVENUE



RUSTED CORRUGATED ROOF MATERIAL



819 SOUTH 6TH AVENUE



827 SOUTH 6TH AVENUE



831 SOUTH 6TH AVENUE



849 SOUTH 6TH AVENUE

SURROUNDING CONTRIBUTING BUILDING PHOTOS

GENERAL NOTES

- OWNER/DEVELOPER: THE STATION ON 6TH AVE LLC, 3351 EAST CAMINO CAMPESTRE, TUCSON, AZ 85716
- THE EXISTING ZONING IS C-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USE IS AUTOMOTIVE - MAJOR SERVICE AND REPAIR. THE PROPOSED USE OF THE DEVELOPMENT IS FOOD SERVICE - EXCLUDING SOUP KITCHENS.
- THE GROSS SITE AREA IS 12,207 SQUARE FEET, OR 0.28 ACRES.
- THE TOTAL BUILDING GFA IS 3,162 SF. BUILDING #1 IS 1,097 SF. BUILDING #2 IS 1,680 SF. BUILDING #3 IS 385 SF. THE TOTAL OUTDOOR USE AREA (PATIO DINING) IS 3,300 SF. THE TOTAL PAVED AREA IS 3,474 SF.
- THE TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 16,045 SF.
- THE ASSESSOR'S PARCEL NUMBER FOR THIS PROJECT IS 117-08-2410.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SERVICES WILL BE PRIVATE AND WILL BE CONSISTENTLY OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 13991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
 - PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
 - THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36". THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (5" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

GENERAL NOTES (cont.)

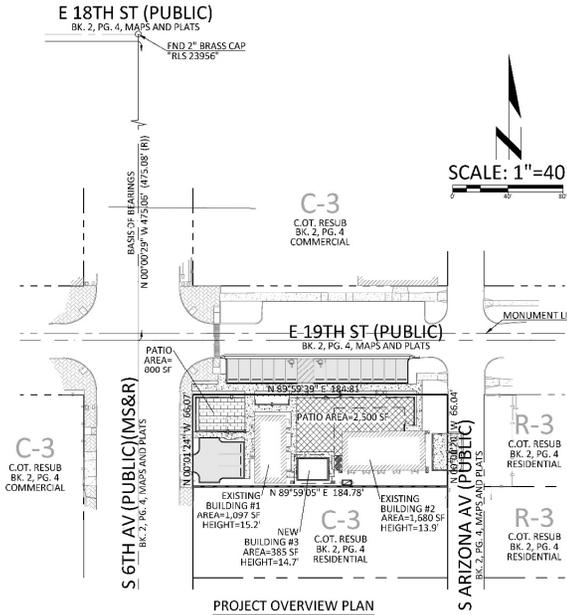
- DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR C-3 ZONING:
 - RESIDENTIAL DENSITY CALCULATION: N/A
 - LOT COVERAGE CALCULATION: N/A
 - MAXIMUM BUILDING HEIGHT = 75'
 - ACTUAL BUILDING HEIGHT = 18' MAX.
- BUILDING SETBACKS:

	REQUIRED	PROVIDED
NORTH	10'	14.9' MIN.
EAST	10'	16.3' MIN.
SOUTH	1 1/2'H	2.7' MIN.
WEST (STREET, FRONT)	20'	44.8' MIN.
- NOTE: WITHIN THE GREATER INFILL INCENTIVE SUBDISTRICT (GIIS), PERIMETER YARD REQUIREMENTS MAY BE MODIFIED PER SECTION 5.12.9.
- PARKING REQUIREMENTS FOR FOOD SERVICE:
 - NOTE: TOTAL USE AREA IS 6,462 SF.
 - MOTOR VEHICLE: 1 SPACE PER 100 GFA
 - REQUIRED = 6,462/100 = 65 SPACES
 - REQ. AFTER BICYCLE PARKING OFFSET = 65-9 = 56 SPACES
 - TOTAL PROVIDED = 17 SPACES
 - ACCESSIBLE SPACES REQUIRED = 1 SPACE
 - ACCESSIBLE SPACES PROVIDED = 2 SPACES
- BICYCLE PARKING:
 - SHORT TERM: 1 SPACE PER 2,000 SF (2 MIN.)
 - TOTAL REQUIRED = 6,462/2,000 = 3 SPACES
 - TOTAL PROVIDED = 12 SPACES
 - LONG TERM: 1 SPACE PER 12,000 (2 MIN.)
 - TOTAL REQUIRED = 6,462/12,000 = 2 SPACES
 - TOTAL PROVIDED = 2 SPACES
- LOADING ZONES REQUIRED = 0 SPACES
- LOADING ZONES PROVIDED = 0 SPACES
- NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- WASTE STREAM CALCULATION:
 - PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 37.0 TONS OF SOLID WASTE PER YEAR (EQUATING TO 474 GALLONS PER WEEK).
 - THIS WILL BE ACCOMPLISHED BY ONE 2-CUBIC-YARD TRASH BIN AND ONE 2-CUBIC-YARD RECYCLING BIN BEING PICKED UP ONCE PER WEEK.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR UDC SEC. 5.4, MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R); AND UDC SEC. 5.12, GREATER INFILL INCENTIVE SUBDISTRICT (GIIS).
- ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT, CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
- SITE EXPANSION CALCULATION:

AREA OF EXISTING BUILDINGS/COVERED STRUCTURES	= 3,110 SF
AREA OF EXISTING STRUCTURES BEING REMOVED	= 42 SF
AREA OF NEW BUILDINGS/COVERED STRUCTURES	= 1,344 SF
EXPANSION PERCENTAGE = (3,444/(3,110-42))	= +43.8%
AREA OF EXISTING VEHICULAR USE AREA	= 4,900 SF
AREA OF EXISTING VEH. USE AREA BEING REMOVED	= 974 SF
AREA OF NEW VEHICULAR USE AREA	= 974 SF
EXPANSION PERCENTAGE = ((974-4,900)/4,900)	= -80.3%

 - NOTE: AN ADDITIONAL 2,500 SF OF VEH. USE AREA IS PROVIDED OFF-SITE.

DEVELOPMENT PACKAGE for THE STATION



SCALE: 1"=40'

LEGEND	
	PROJECT BOUNDARY
	RIGHT-OF-WAY
	OTHER PARCEL LINE
	ROADWAY CENTERLINE
	MONUMENT LINE
	EXISTING CURB
	EXISTING CONCRETE
	EXISTING FENCE
	NEW CURB
	NEW PAINT STRIPE
	NEW ASPHALT
	NEW CONCRETE
	NEW BRICK PAVERS
	NEW FENCE
	EXISTING STREET/TRAFFIC LIGHT
	NEW SIGN
	EXISTING STORM DRAIN MANHOLE
	EXISTING STORM DRAIN PIPE
	EXISTING SEWER
	EXISTING WATER
	EXISTING OVERHEAD ELECTRIC
	EXISTING COMMUNICATION LINE
	EXISTING GAS LINE
	EXISTING SEWER MANHOLE
	EXISTING SEWER CLEANOUT
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING ELECTRIC PULL BOX
	EXISTING ELECTRIC METER
	EXISTING COMMUNICATION MANHOLE
	EXISTING LIGHT PULL BOX
	EXISTING POWER POLE
	NEW SEWER
	NEW WATER
	NEW SEWER CLEANOUT
	ZONING DIVISION
	PARKING SPACE COUNT

SHEET INDEX

- COVER SHEET
- NOTES
- SITE PLAN
- GRADING + DRAINAGE PLAN
- UTILITIES + EASEMENTS PLAN
- DETAILS
- LANDSCAPE PLAN
- IRRIGATION PLAN
- LANDSCAPE DETAILS
- IRRIGATION DETAILS

ARCHITECT

REPP + MCLAIN DESIGN & CONSTRUCTION
 2502 NORTH FIRST AVENUE
 TUCSON, ARIZONA 85719
 ATTN: VIKI REIC MCLAIN
 PH: (520) 791-7035
 E: rick@reppmclain.com

ARC STUDIOS INC.
 3117 EAST FLOWER STREET
 TUCSON, ARIZONA 85716
 ATTN: ERIC BARRETT / DENNIS ROODVOETS
 PH: (520) 882-9655
 E: eric@arcstudiosinc.com

NO.	DATE	REVISION DESCRIPTION	BY
1			
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OWNER/DEVELOPER	
THE STATION ON 6TH AVE LLC 3351 EAST CAMINO CAMPESTRE TUCSON, ARIZONA 85716-5829 ATTN: HOWARD HAYS PH: (602) 316-1225 E: howardhays@outlook.com	
SITE ADDRESS	
901 SOUTH 6TH AVENUE TUCSON, ARIZONA 85701	

LOT 2, BLOCK 144, "CITY OF TUCSON" AS RECORDED IN BOOK 2, PAGE 4 OF MAPS & PLATS, IN THE SW 1/4 OF THE SE 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G. & S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE STATION
cover sheet

1 of 10

GENERAL PAVING + GRADING NOTES

1. ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
2. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
4. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
6. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
7. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
8. CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE, BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
9. CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RINGS AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW REQUIRED GRADE.
10. PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):
TOTAL CUT TOTAL FILL COMPOSITE
115 CY 68 CY 47 CY (C)
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
11. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
12. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
13. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
14. CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHARPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
15. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
16. THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING SURFACE TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

GENERAL PAVING + GRADING NOTES (cont.)

17. CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
18. DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6" EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
19. ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5' FOR THE ADJACENT TOP OF CURB/CONCRETE (T/C) ELEVATION UNLESS OTHERWISE SHOWN.
20. CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
21. ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
22. AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
23. ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
24. ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS C, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
25. PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). CURRENT EDITION SHALL BE USED UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
26. THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ON SITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAN AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE PLANNING AND DEVELOPMENT SERVICES FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
27. THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
28. THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
29. IF UNUSUAL CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
30. THE PERMITTEE SHALL NOTIFY PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
31. ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
32. CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PSDS PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PSDS ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.vecityhall.com/acc/calendral/index.cfm?toCity=tucson&state=arizona>
33. ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT CYPRESS CIVIL AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
34. CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

EARTHWORK/MATERIALS TESTING + CERTIFICATION

1. A PROJECT SPECIFIC GEOTECHNICAL ENGINEERING INVESTIGATION AND ANALYSIS WAS NOT PROVIDED TO CYPRESS CIVIL DEVELOPMENT FOR THIS PROJECT. CYPRESS CIVIL ASSUMES NO RESPONSIBILITY AND/OR LIABILITY FOR THE SOILS INFORMATION SHOWN HEREON, TO INCLUDE PAVEMENT STRUCTURE SECTIONS. CYPRESS CIVIL WAS SPECIFICALLY DIRECTED BY THE PROJECTS OWNER TO INDICATE THE PAVEMENT SECTIONS AS THEY ARE SHOWN ON THIS PLAN.
2. THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
3. DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

TYPICAL SLOPE TREATMENT	
SLOPE GRADIENT	TREATMENT
3:1 OR FLATTER	REVEGETATED WITH NATIVE SPECIES OR PROTECTED OTHER GROUND COVERS SUCH AS NETTING OR CRUSHED ROCK
2:1 TO 3:1	HAND-PLACED RIPRAP OVER FILTER FABRIC
1:1 TO 2:1	GROUTED OR WIRE-TIED RIPRAP
1:1 OR STEEPER	STABILITY ANALYSIS OR RETAINING WALL DESIGNED BY STRUCTURAL ENGINEER

- NOTES:
 - SLOPE GRADIENTS ARE HORIZONTAL OR VERTICAL.
 - FINAL SLOPE TREATMENT SHALL BE AS PER THIS TABLE UNLESS OTHERWISE NOTED ON THIS PLAN OR WITHIN THE GEOTECHNICAL REPORT.
 - SEE RIPRAP NOTES FOR SPECIFICATIONS.

RIPRAP NOTES

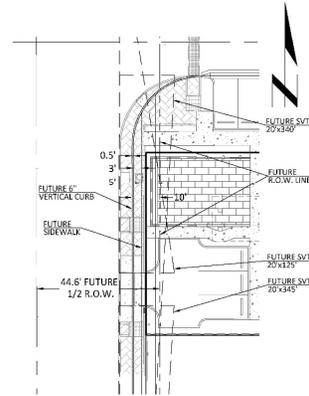
1. RIPRAP MATERIAL SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 913. RIPRAP MATERIAL SHALL BE WELL GRADED, VARYING IN SIZE FROM 4 TO 8 INCHES (d₈₅=6"). THE RIPRAP LAYER SHALL BE 6 INCHES MINIMUM THICKNESS.
2. THE GROUT FOR THE RIPRAP SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 914. THE TOTAL GROUT AND RIPRAP LAYER SHALL BE A MINIMUM THICKNESS OF 1.5d₈₅ INCHES (d₈₅=6"). GROUT THICKNESS SHALL BE EQUAL TO 1.0d₈₅ AND RIPRAP ROCK SHALL BE EMBEDDED TO A DEPTH OF 0.5d₈₅.
3. FINISH GRADE ("FG") CALLOUTS ARE TO TOP OF RIPRAP, IN APPLICABLE AREAS.

SURVEY NOTES

1. THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON THE MONUMENT LINE OF 6TH AVENUE BETWEEN 18TH STREET AND 19TH STREET AS RECORDED IN BOOK 66, PAGE 97 OF SURVEYS, RECORDS OF PIMA COUNTY, ARIZONA. THE BEARING OF SAID LINE IS N 00°07'29" W.
2. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS A CITY OF TUCSON/PIMA COUNTY GEODETIC CONTROL POINT "DN23", A P.K. NAIL IN AN ALUMINUM DISK MARKED "TIPS PLS 20373" 122' WEST OF RUSSELL AVENUE ON THE CENTERLINE OF 22ND STREET. THE ELEVATION OF SAID BENCHMARK IS 2,410.32' NAVD 88 DATUM.
3. THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: ALTA ARIZONA LAND SURVEY, INC. 2025 WEST RUTHERFORD ROAD, SUITE 125 TUCSON, ARIZONA 85705 ATTN: MR. JOHN DAVID REYES, AZ RLS #41603 PH: (520) 398-6051
4. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
5. UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL PERFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN A 10% FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN A 10% FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

INFILL INCENTIVE DISTRICT (IID) CASE # 19-07 NOTES:

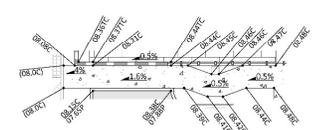
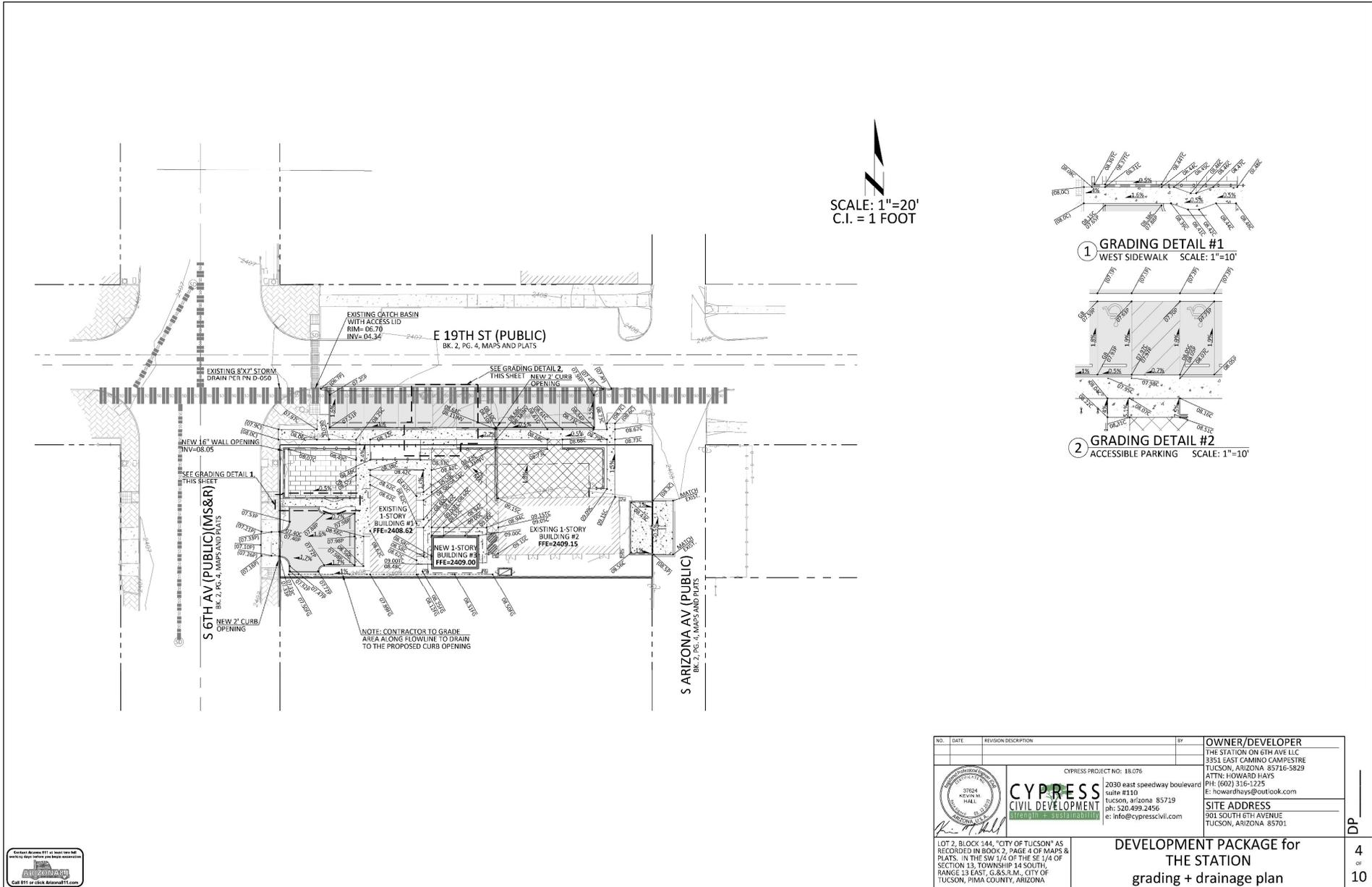
THE FOLLOWING CONDITIONS LISTED PER IID CASE # 19-07, APPROVED _____ APPLY TO THIS PROJECT:



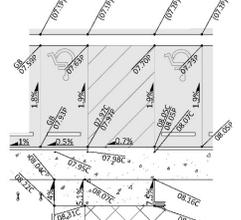
FUTURE RIGHT-OF-WAY DETAIL
SCALE: 1"=20'



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER THE STATION ON 6TH AVE LLC 2551 EAST CAMINO CAMPESTRE TUCSON, ARIZONA 85716-5829 ATTN: HOWARD HAYS PH: (602) 316-1225 E: howardhays@outlook.com
				CYPRESS CIVIL DEVELOPMENT 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520-499-2456 e: info@cypresscivil.com
LOT 2, BLOCK 144, "CITY OF TUCSON" AS RECORDED IN BOOK 2, PAGE 4 OF MAPS & PLATS, IN THE SW 1/4 OF THE SE 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				DEVELOPMENT PACKAGE for THE STATION notes
				2 of 10



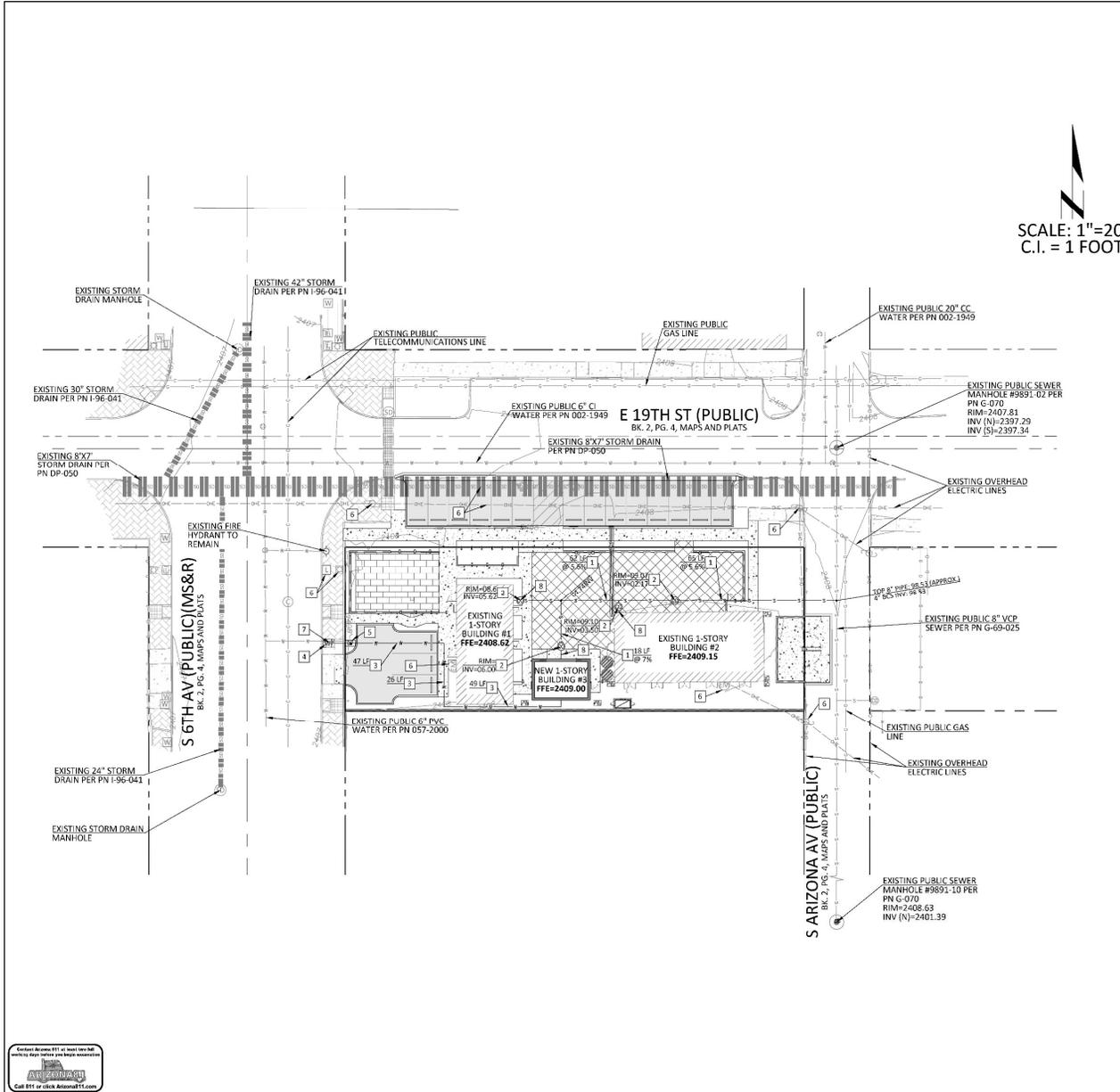
1 GRADING DETAIL #1
WEST SIDEWALK SCALE: 1"=10'



2 GRADING DETAIL #2
ACCESSIBLE PARKING SCALE: 1"=10'



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				THE STATION ON 6TH AVE LLC 3351 EAST CAMINO CAMPESTRE TUCSON, ARIZONA 85716-5829 ATTN: HOWARD HAYS PH: (602) 316-1225 E: howardhays@outlook.com
				SITE ADDRESS 901 SOUTH 6TH AVENUE TUCSON, ARIZONA 85701
				DP
LOT 2, BLOCK 144, "CITY OF TUCSON" AS RECORDED IN BOOK 2, PAGE 4 OF MAPS & PLATS, IN THE SW 1/4 OF THE SE 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, Q.8.S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				4 of 10



SCALE: 1"=20'
C.I. = 1 FOOT

- UTILITY KEYNOTES**
- 1 NEW PRIVATE 4" PVC SEWER SERVICE. SEE KEYNOTE FOR LENGTH AND SLOPE. TAP EXISTING PUBLIC SEWER PER PERMITS STANDARDS AND SPECIFICATIONS.
 - 2 NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERTS.
 - 3 NEW PRIVATE 2" PVC WATER LINE. SEE KEYNOTE FOR LENGTH.
 - 4 NEW 1.5" WATER METER IN EXISTING METER BOX. CONTRACTOR TO COORDINATE UPSIZING THE EXISTING SERVICE TAP WITH TUCSON WATER, IF NECESSARY.
 - 5 NEW 1.5" BACKFLOW PREVENTER.
 - 6 EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - 7 EXISTING 5/8" WATER METER #15148930 TO BE REMOVED.
 - 8 NEW SEWER BACKWATER VALVE.
- NOTE: CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING SANITARY SERVICE ON-SITE IF AVAILABLE. IF FEASIBLE, USE EXISTING CONNECTION TO THE SANITARY SEWER MAIN LINE AND RUN NEW SERVICE PIPE WHERE NEEDED AT 1% MIN. SLOPE.

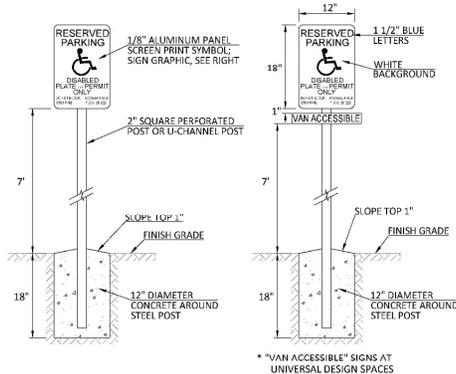
UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

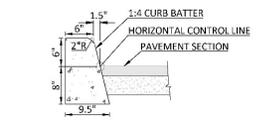
PRIVATE UTILITY NOTES

1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

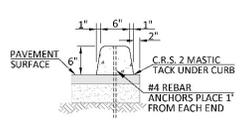
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				THE STATION ON 6TH AVE LLC 3351 EAST CAMINO CAMPESTRE TUCSON, ARIZONA 85716-5829 ATTN: HOWARD HAYS PH: (602) 316-1225 E: howardhays@outlook.com
				SITE ADDRESS 901 SOUTH 6TH AVENUE TUCSON, ARIZONA 85701
CYPRESS PROJECT NO: 18-076 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com				
LOT 2, BLOCK 144, "CITY OF TUCSON" AS RECORDED IN BOOK 2, PAGE 4 OF MAPS & PLATS, IN THE SW 1/4 OF THE SE 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G.B.S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				DEVELOPMENT PACKAGE for THE STATION utilities + easements plan
				DP 5 of 10



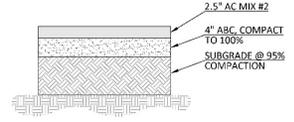
A ACCESSIBLE SIGN AND POST
SCALE: 1"=1'



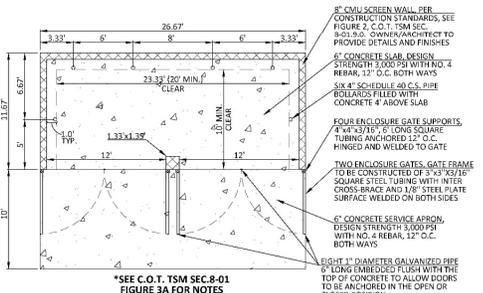
B CONCRETE VERTICAL CURB
TYPE 2, H=6"
PAG DETAIL 209
SCALE: 1"=1'



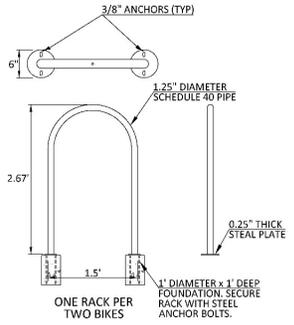
C CONCRETE WHEEL STOP
SCALE: 1"=1'



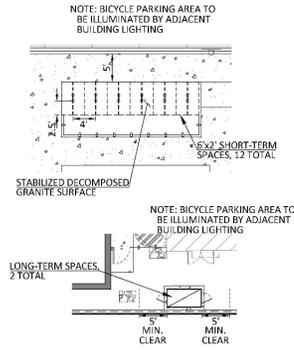
D TYPICAL PAVEMENT SECTION
SCALE: 1"=1'



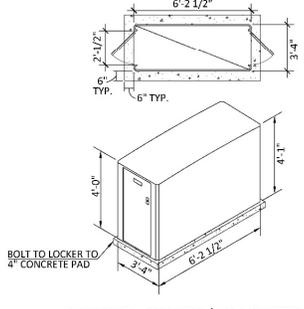
E TRASH ENCLOSURE DETAIL
DOUBLE
N.T.S.



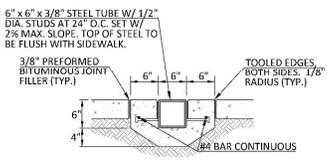
F BICYCLE RACK (SHORT TERM)
SURFACE MOUNT
N.T.S.



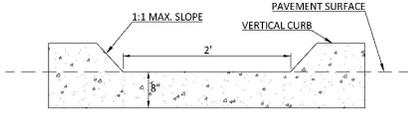
G BIKE RACK/LOCKER SPACING
SCALE: 1"=10'



H BICYCLE LOCKER (LONG TERM)
DOUBLE
N.T.S.



I CONCRETE WEDGE CURB
PAG DETAIL 209
SCALE: 1"=1'



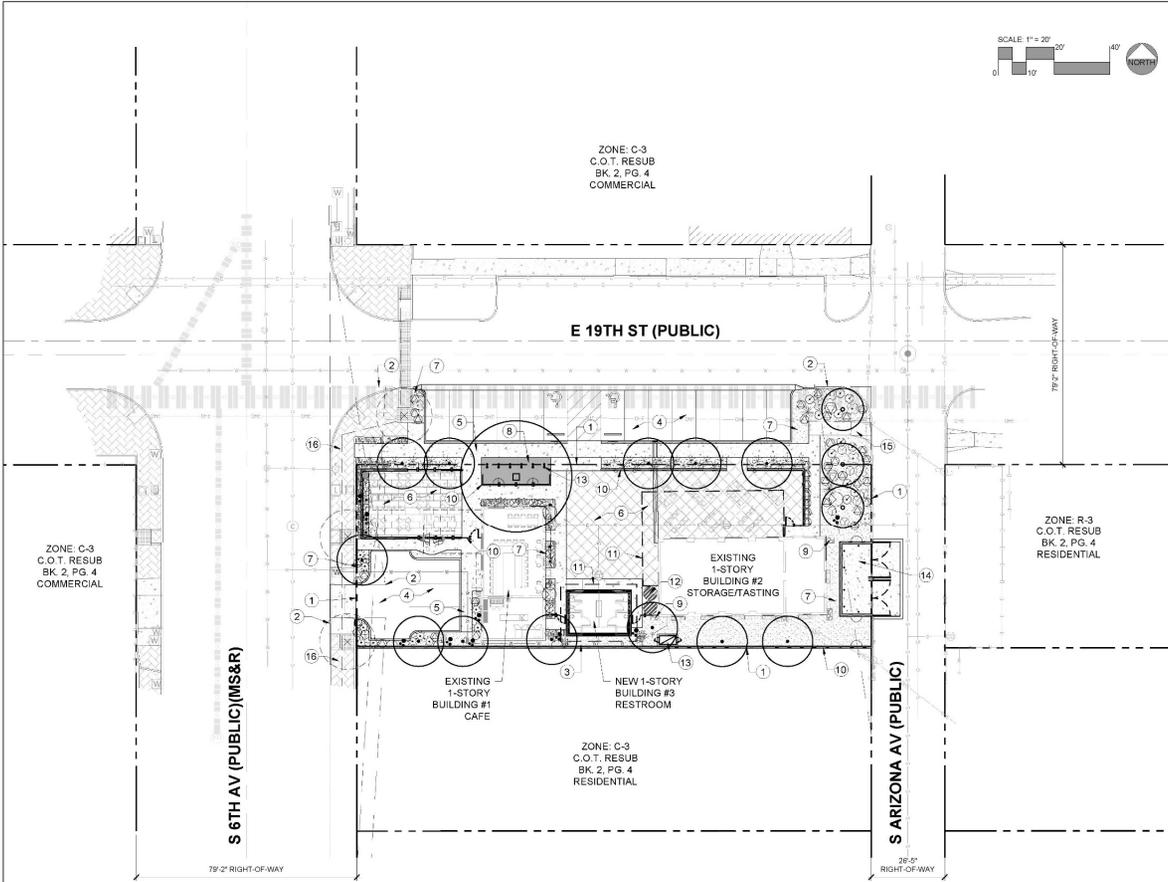
J SIDEWALK SCUPPER
TYPE 1
PAG DTL 204
SCALE: 1"=1'



K CURB OPENING
N.T.S.



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
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				CYPRESS CIVIL DEVELOPMENT 2030 east speedway boulevard suite #110 TUCSON, ARIZONA 85719 ph: 520.499.2456 e: info@cypresscivil.com
				SITE ADDRESS 901 SOUTH 6TH AVENUE TUCSON, ARIZONA 85701
				
LOT 2, BLOCK 144, "CITY OF TUCSON" AS RECORDED IN BOOK 2, PAGE 4 OF MAPS & PLATS, IN THE SW 1/4 OF THE SE 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				
DEVELOPMENT PACKAGE for THE STATION details				DP 6 OF 10



LANDSCAPE LEGEND
Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees	Size	Qty
Acacia willardiana palo blanco	24" box 1.5" caliper	12
Pistacia x 'Red Push' red push pistache	36" box 2.25" caliper	1
Fraxinus greggii littleleaf ash	24" box 1.5" caliper	3

Existing tree to remain in place

Shrubs / Ground Covers	Size	Qty
Ruellia brittoniana mexicana petunia	5 gallon	3
Calliandra eriophylla native fairy duster	5 gallon	11
Calliandra californica baja fairy duster	5 gallon	2
Chrysanthemum mexicanum damienita daisy	1 gallon	30
Justicia spigera mexican honeycuddle	5 gallon	9
Sotolorosa pallida purple heart	3 gallon	8
Sphaeralcea ambigua mixed color globe mallow	5 gallon	2

Vines

Size	Qty
Parthenocissus 'Hacienda Creeper' hacienda creeper	5 gallon 14
Trachelospermum jasminoides star jasmine	5 gallon 1
Bigonia capreolata fargensea cross vine	5 gallon 4

Cacti / Succulents

Size	Qty
Dasylirion quadrangulatum toothless sotol	15 gallon 2
Nolina microcarpa beargrass	5 gallon 32
Agave attenuata fox tail agave	5 gallon 8
Asclepias subulata clear milkweed	5 gallon 7
Pedilanthus bracteatus tall lady slipper	5 gallon 6
Euphorbia antisyphilitica candleilla	5 gallon 10
Aloe x Blue Elf blue elf aloe	3 gallon 26
Stemoneurus marginatus mexican fence post	5 gallon 6
Aloe barbadensis african aloe	5 gallon 9
Lophocoeus schott totem pole cactus	5 gallon 7
Cleistocactus strausii silver torch	5 gallon 1

- GENERAL LANDSCAPING NOTES:**
- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
 - For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
 - The Landscape Architect is to approve any and all substitutions.
 - Plant list quantities are provided for contractor's convenience only. Plans take precedence.
 - Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
 - Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
 - Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
 - Ground cover and/or decorative rock shall extend under shrubs unless noted.
 - After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
 - Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
 - All earthwork is to be done so that all water drains away from all structures.
 - All underground utilities are to be located before digging.
 - All plant material to be guaranteed for a period of one (1) year after final acceptance.
 - Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
 - In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
 - All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
 - Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
 - Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeve schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
 - All landscape areas shall be depressed 6 inches to maximize storm water harvesting.
 - Final plant locations must be in compliance with all utility setback requirements.
 - Sleeve all pipes and wires under paved areas including streets and sidewalks.
 - Irrigation lines are shown schematically; locate all line in unpaved areas.
 - Locate all lines within the property line when possible.
 - The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalks and utilities.
 - The landscape and irrigation shall be installed per the associated specifications.
 - All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
 - Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
 - Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
 - It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
 - The owner understands that if the City of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
 - The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
 - The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
 - The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
 - Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.

GROUND COVER MATERIAL LEGEND
Furnish and install all material per plans, details, and specs.

01 Decorative rock	type: screened rock
	size: 1/2"
	color: table mesa brown - pioneer materials
	depth: 2"
notes:	install in all landscape planting areas as indicated on plans
02 Decorative rock - Bicycle parking	type: stabilized decomposed granite
	size: 3/8" minus
	color: palomino gold
	depth: 3"
notes:	stabilizer solutions stabilizer@ w/ 15lbs of stabilizer@ per ton of aggregate
03 Decorative rock - Rip Rap	type: rip rap
	size: refer to civil
	color: santa fe brown - pioneer materials
	depth: refer to civil
notes:	refer to civil paving plans, details and specifications

CITY OF TUCSON RIGHT-OF-WAY NOTES:

- It is the owner's responsibility to keep the Sight Visibility Triangles (SVT), and the pedestrian access area clear of vegetation at all times, per Land Use Code (LUC) section.
- It is the owner responsibility to keep a 5' wide by 7' tall clear pedestrian access open across the entire property.
- It is the owner responsible to keep vegetation from growing past the curb line clear, and keep a 15' high clear zone over the travel lane.
- Final plant locations must be in compliance with all utility setback requirements.
- The owner understands that if the City of Tucson Transportation Department or any utility company needs to work within the Right-of-Way (ROW) in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
- Contractor to obtain a Right-Of-Way excavation permit prior to construction within the ROW.
- Landscape and maintenance in the public ROW shall be maintained by the property owner of the development at no cost to the City of Tucson.

LANDSCAPE BORDER REQUIREMENTS

- North (19th St.)**
no landscape border required per (GIS) refer to shade study detail #9 sheet 9
- South**
10' interior border @ 185' trees required 6
trees provided 6
60" screen wall
- East (Arizona Av.)**
no landscape border required per (GIS) refer to shade study detail #9 sheet 9
- West (6th Av.)**
no landscape border required per (GIS) refer to shade study detail #9 sheet 9

LANDSCAPE KEY NOTES

- | | |
|--|---|
| 1. Property line | 12. Water harvesting tank by others |
| 2. Sight visibility triangle | 13. Bicycle parking - refer to site plan |
| 3. Interior landscape border | 14. Tissue enclosure - refer to site plan |
| 4. Pavement - refer to site plan | 15. Existing sidewalk |
| 5. Concrete sidewalk - refer to site plan | 16. Existing landscape |
| 6. Hardscape - refer to site plan | |
| 7. Decorative rock 01 - all landscape areas typ. | |
| 8. Decorative rock 02 - bicycle parking | |
| 9. Decorative rock 03 - riprap | |
| 10. Wall/fence - refer to site plan | |
| 11. Building/structure overhead typ. | |

PARKING TREE REQUIREMENTS

Parking spaces provided	17
Trees required	4
Trees provided	4

1-800-782-5348

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				REPP + MCCLAIN DESIGN & CONSTRUCTION 2502 NORTH FIRST AVENUE TUCSON, ARIZONA 85719 ATTN: MR. RICK MCCLAIN PH: (520) 782-1055 E: rick@reppmclain.com
				SITE ADDRESS 901 SOUTH 6TH AVENUE TUCSON, ARIZONA 85701

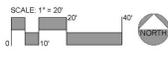
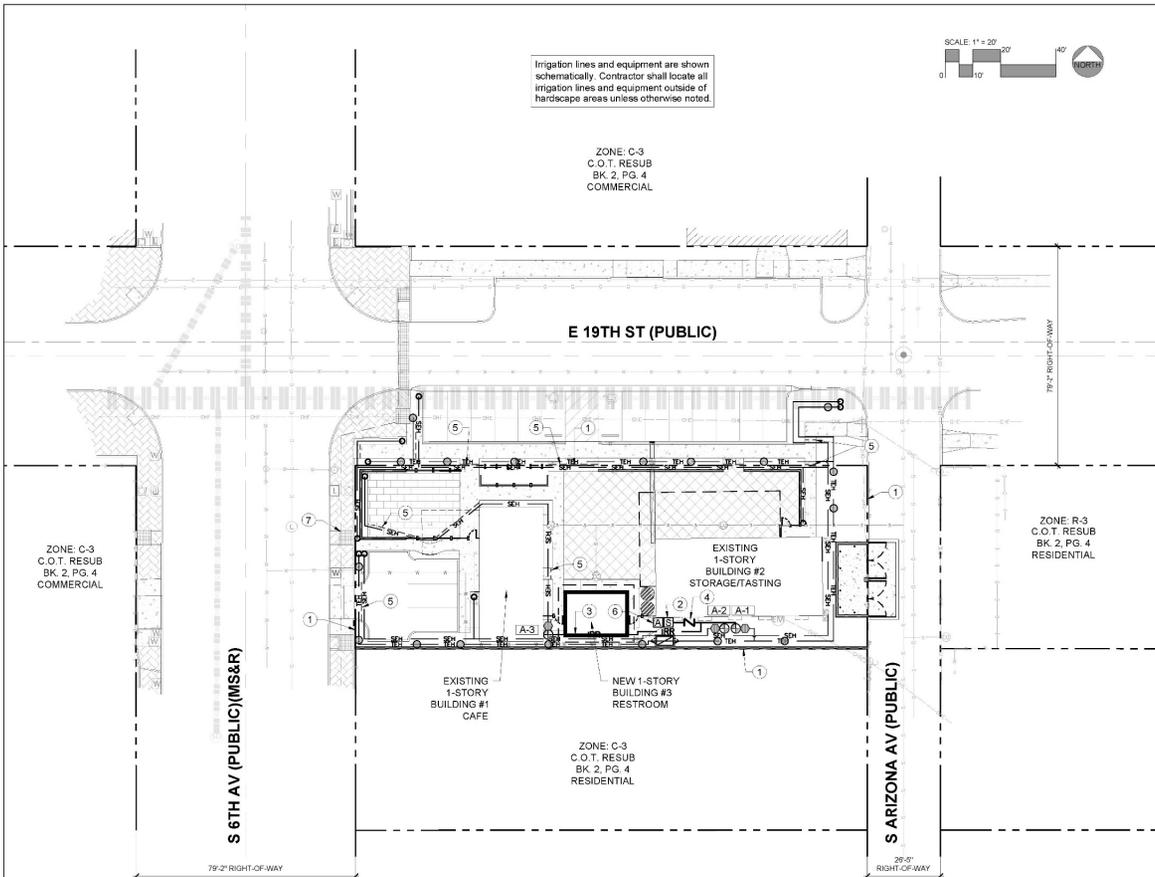
LOT 2, BLOCK 144, "CITY OF TUCSON"
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SECTION 15, TOWNSHIP 14 SOUTH,
RANGE 14 EAST, G.S.R.M., CITY OF
TUCSON, PIMA COUNTY, ARIZONA

ARC STUDIOS PROJECT NO: 03-18050
ARC STUDIOS
2881 E
ERIC BL
BARETT
TUCSON, ARIZONA 85718
phone: 520-882-8050
www.arcstudios.com

landscape architecture urban design
environmental services irrigation design

DEVELOPMENT PACKAGE for THE STATION landscape plan

7 of 10



Irrigation lines and equipment are shown schematically. Contractor shall locate all irrigation lines and equipment outside of hardscape areas unless otherwise noted.

ZONE: C-3
C.O.T. RESUB
BK 2, PG. 4
COMMERCIAL

E 19TH ST (PUBLIC)

ZONE: C-3
C.O.T. RESUB
BK 2, PG. 4
COMMERCIAL

ZONE: R-3
C.O.T. RESUB
BK 2, PG. 4
RESIDENTIAL

EXISTING 1-STORY BUILDING #1 CAFE

ZONE: C-3
C.O.T. RESUB
BK 2, PG. 4
RESIDENTIAL

NEW 1-STORY BUILDING #3 RESTROOM

79'-2" RIGHT-OF-WAY

80'-0" RIGHT-OF-WAY

- IRRIGATION KEY NOTES**
- Property line
 - Irrigation source - field locate water main tap
 - Irrigation main line
 - Backflow preventer - field locate
 - Irrigation sleeve - refer to paving & grading plans
 - Irrigation controller - field locate and approved by architect
 - Field located existing 6th avenue street tree irrigation system

FOR MORE INFO, PLEASE CALL
1-800-782-5348
1-800-782-5348
Fax: 520-793-0436

- IRRIGATION LEGEND**
- ☐ furnish and install all material per plans, details, and specifications
 - ☐ irrigation source / point of connection - irrigation meter - 3/4" (refer to civil water plans)
 - ☐ reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
 - ☐ irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
 - ☐ irrigation controller - toro evolution series w/ smart connect and weather sensor, evo-cd-04-sc, evo-ws
 - ☐ remote control valve & filter - valve - inrtrol 700 series, 700-1
 - ☐ irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
 - ☐ tree line - sch. 40 pvc - 3/4" unless otherwise shown
 - ☐ shrub line - sch. 40 pvc - 3/4" unless otherwise shown
 - ☐ hose end cap
 - ☐ pressure regulating filter - rain bird - xcz-prb-100-com
 - ☐ multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
 - ☐ single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

- IRRIGATION VALVE SCHEDULE**
- | Valve | Size | Type | Valve | Size | Type |
|-------|------|-------|-------|------|----------|
| A-1 | 1" | tree | A-3 | 1" | shrub |
| A-2 | 1" | shrub | A-4 | | not used |

- VALVE SCHEDULE NOTES:**
- (W) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
 - Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

- IRRIGATION NOTES:**
- The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
 - The irrigation system is designed with an operating pressure of 50psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
 - Contractor shall notify Landscape Architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
 - Contractor shall test pressure prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
 - If contractor fails to provide pressure test readings and pressure is below intended system design, contractor shall make adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
 - Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to coordinate with general contractor for sleeve installation.
 - Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas.
 - Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
 - Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with daily automatic adjustments to local live ET or historic ET data.
 - Contractor shall set additional programs on controller for deep root watering and plant growth from March thru June.
 - Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
 - Contractor shall have the irrigation functional, prior to start of planting.
 - Irrigation system within 6th avenue right of way to remain operational during construction.

EMITTER SCHEDULE

Trees

Type	Outlets	Gph	Gph outlet plant
Acacia willardiana	m	3	2.0 6.0
palo blanco			
Pistacia x Red Push	m	6	2.0 12.0
red push pistache			
Frazinus greggii	m	4	2.0 8.0
littleleaf ash			
Existing tree	m	6	2.0 12.0

Shrubs / Ground Covers

Type	Outlets	Gph	Gph outlet plant
Ruellia brittoniana	s/m	2	1.0 2.0
mexican petunia			
Calliandra eriophylla	s/m	1	1.0 1.0
native fairy duster			
Calliandra californica	s/m	2	1.0 2.0
baja fairy duster			
Chrysaedina mexicana	s/m	1	1.0 1.0
damanita daisy			
Justicia spicigera	s/m	1	1.0 1.0
mexican honeysuckle			
Setcreasea pallida	s/m	1	1.0 1.0
purple heart			
Sphaeralcea ambigua	s/m	1	1.0 1.0
mixed color globe mallow			

Vines

Type	Outlets	Gph	Gph outlet plant
Parthenocissus 'Hacienda Creeper'	s/m	2	1.0 2.0
hacienda creeper			
Trachelospermum jasminoides	s/m	2	1.0 2.0
star jasmine			
Signonia caprolata	s/m	2	1.0 2.0
ferngene cross vine			

Cacti / Succulents

Type	Outlets	Gph	Gph outlet plant
Dasylirotum quadrangulum	s/m	2	2.0 4.0
toothless sotol			
Nothola microcarpa	s/m	2	2.0 4.0
beargrass			
Agave attenuata	s/m	1	1.0 1.0
fox tail agave			
Asclepias subulata	s/m	1	1.0 1.0
desert milkweed			
Pedilanthus bracteatus	s/m	1	1.0 1.0
tall lady slipper			
Euphorbia antipathillica	s/m	1	1.0 1.0
candlelily			
Aloe x Blue Elf	s/m	1	0.5 0.5
blue elf aloe			
Sternocremus marginatus	s/m	1	0.5 0.5
mexican fence post			
Aloe barbadensis	s/m	1	1.0 1.0
african aloe			
Lophoceros schotti	s/m	1	0.5 0.5
totem pole cactus			
Cleistocactus strausii	s/m	1	0.5 0.5
silver chert			

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				REPP + MCCLAIN DESIGN & CONSTRUCTION
				2502 NORTH FIRST AVENUE
				TUCSON, ARIZONA 85719
				ATTN: MR. RICK MCCLAIN
				PH: (520) 781-7035
				E: rick@reppmclain.com
				SITE ADDRESS
				901 SOUTH 6TH AVENUE
				TUCSON, ARIZONA 85701

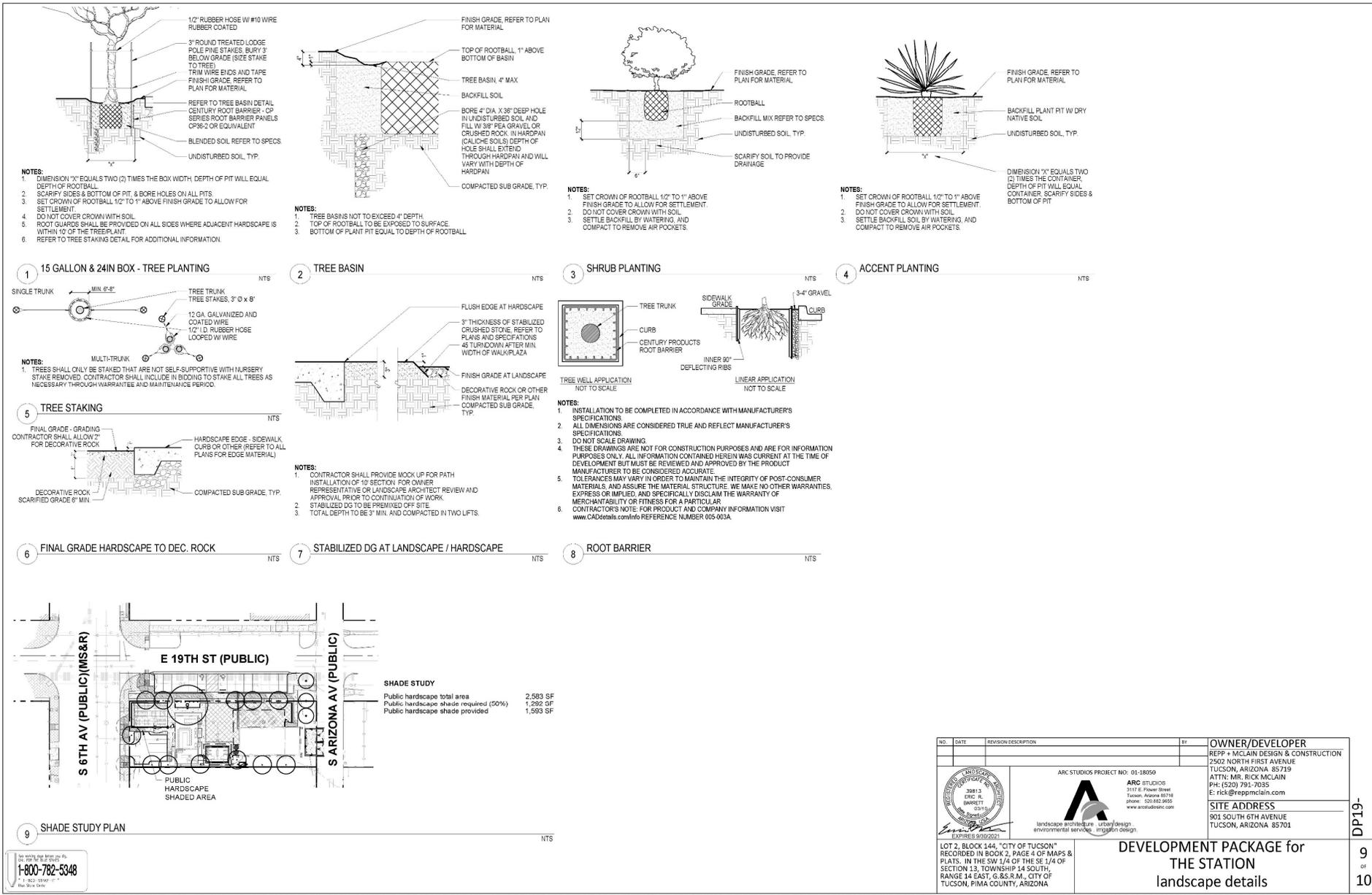
ARC STUDIOS PROJECT NO: 01-18050

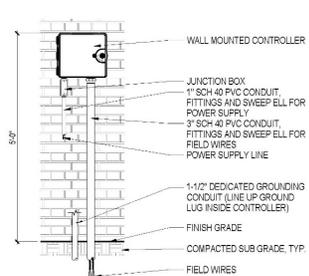
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DEVELOPMENT PACKAGE for
THE STATION
irrigation plan

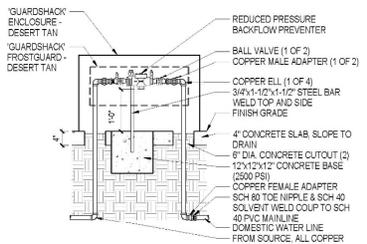
LOT 2, BLOCK 146, "CITY OF TUCSON"
RECORDED IN BOOK 2, PAGE 4 OF MAPS &
PLATS, IN THE SW 1/4 OF THE SE 1/4 OF
SECTION 13, TOWNSHIP 14 SOUTH,
RANGE 14 EAST, G. 85 R.M., CITY OF
TUCSON, PIMA COUNTY, ARIZONA





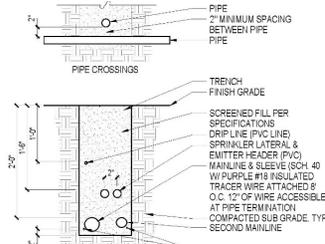
NOTES:

1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



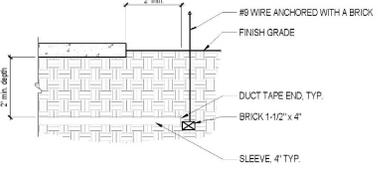
NOTES:

1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST FOR POTABLE WATER SOURCE. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
2. PLACE BACKFLOW PREVENTER WITHIN SECURITY ENCLOSURE. (SEE SPECS.)
3. OPEN AND CLOSE ENCLOSURE WITHOUT MODIFICATIONS.



NOTES:

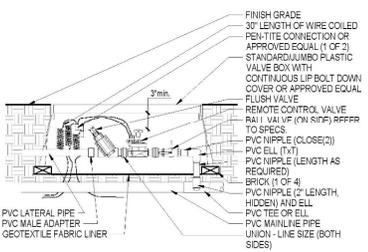
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
2. TRENCH WIDTH & DEPTH TO VARY DEPENDING ON NUMBER & TYPES OF PIPES CONTAINED THERE IN.
3. TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES. 4" PIPE & LARGER SHALL BE 30" BELOW FINISH GRADE.



NOTES:

1. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT
3. WHERE THERE IS MORE THAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO 2" MINIMUM ABOVE FINISH GRADE
4. MECHANICALLY TAMP BACKFILL SOIL TO 95% PROCTOR

1 WALL MOUNTED CONTROLLER NTS

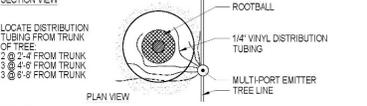
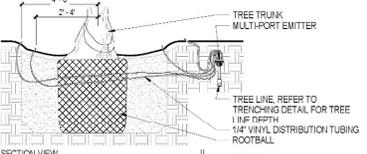


NOTES:

1. PROVIDE DECODERS AS REQUIRED FOR 2-WIRE SYSTEMS
2. GREEN BOXES IN TURF AREAS
3. TAN BOXES IN HYDRO-SEED OR DECORATIVE ROCK AREAS
4. PURPLE BOXES IN RECLAIMED SYSTEMS

5 REMOTE CONTROL VALVE - DRIP/BUBBLER NTS

2 REDUCED PRESSURE BACKFLOW PREVENTER NTS



NOTES:

1. INSTALL DISTRIBUTION TUBES EQUALLY AROUND EDGE OF ROOTBALL
- DRIP TUBING AT SURFACE TO CLEAR FINAL GRADE BY A MIN. OF 1" AND A MAX. OF 2". DETAIL REPRESENTS TYP. INSTALLATION REFER TO IRRIGATION LEGEND FOR MULTI-PORT EMITTER QUANTITIES.

6 MULTI-PORT EMITTER DRIP TUBING @ TREE NTS

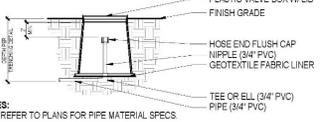
3 IRRIGATION TRENCHING NTS

NOTES:

1. ALL 1/2" LATERAL PIPE TO BE CLASS 315 PVC. ALL PIPE 3/4" TO 2 1/2" TO BE SCH. 40 PVC. PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.
2. MAINLINE - SCH. 80 FITTINGS.
3. LATERAL AND DRIP LINES SCH. 40 FITTINGS.
4. PRESSURE TESTS, 4 HOURS:
 - MAINLINE AT 150 PSI
 - LATERALS AND DRIP LINE AT 70 PSI

PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 12
1-1/4"	12 - 20
1-1/2"	20 - 30
2-1/2"	30 - 46
3"	46 - 60
4"	60 - 110
6"	110 - 190
8"	190 - 340

7 PIPE SIZING SCHEDULE NTS

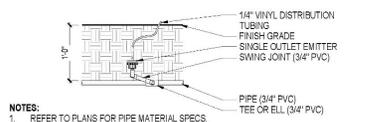


NOTES:

1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

8 HOSE END CAP NTS

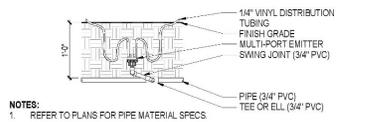
4 SLEEVING NTS



NOTES:

1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

9 SINGLE OUTLET EMITTER NTS



NOTES:

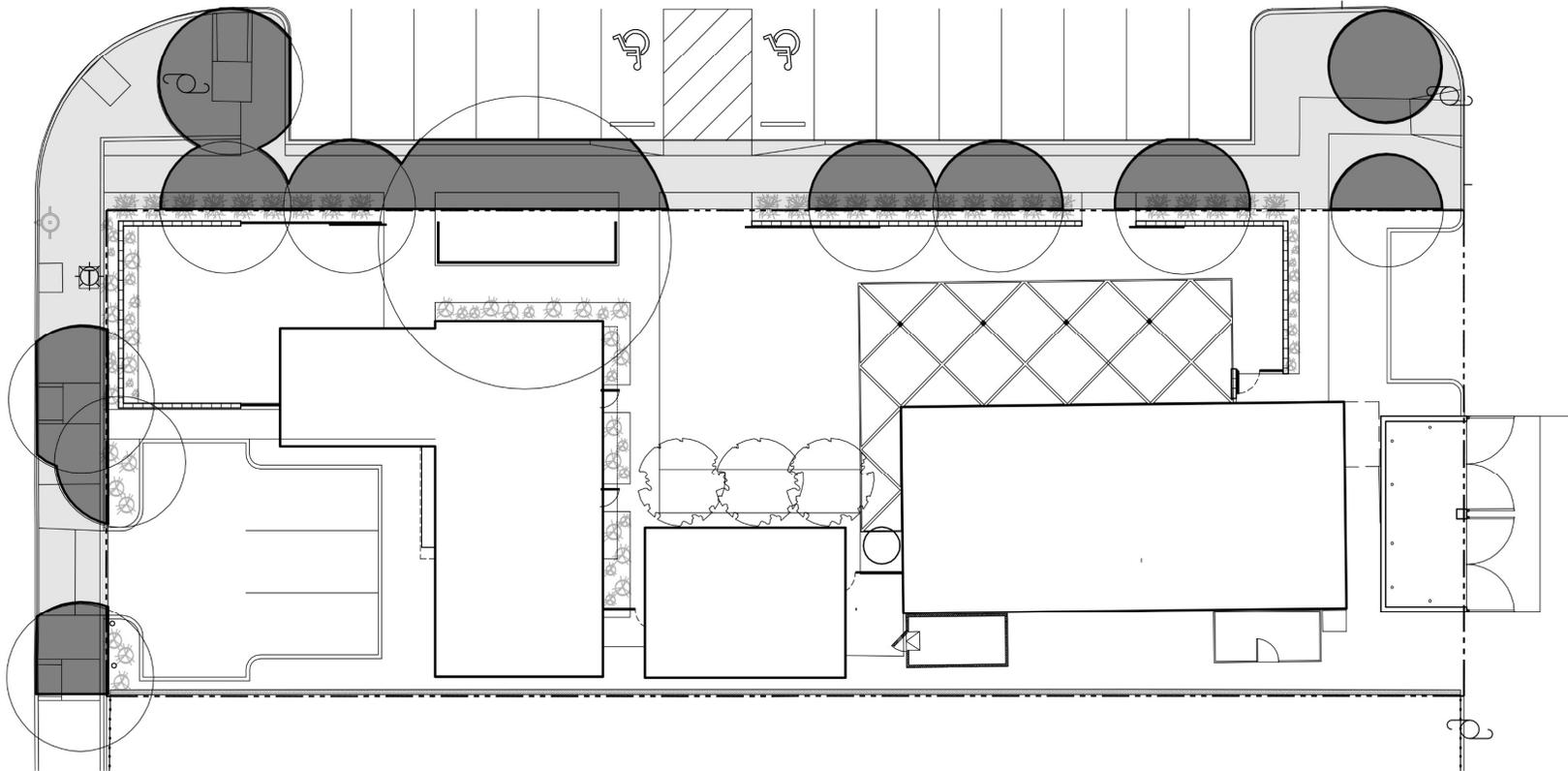
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

10 MULTI-PORT EMITTER NTS

1-800-782-5348

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NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				REPP + MCCLAIN DESIGN & CONSTRUCTION 2502 NORTH FIRST AVENUE TUCSON, ARIZONA 85719 ATTN: MR. RICK MCCLAIN PH: (520) 791-7055 E: rick@reppmclain.com
				SITE ADDRESS 901 SOUTH 6TH AVENUE TUCSON, ARIZONA 85701
				<p>ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.8656 www.arcstudios.com</p> <p>landscape architecture urban design environmental services irrigation design</p>
<p>LOT 2, BLOCK 144, "CITY OF TUCSON" RECORDED IN BOOK 2, PAGE 4 OF MAPS & PLATS. IN THE SW 1/4 OF THE SE 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 14 EAST, G.S.R.J.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA</p>				
<p>DEVELOPMENT PACKAGE for THE STATION irrigation details</p>				<p>DP10</p> <p>10 of 10</p> <p>L4.0</p>



SHADE STUDY CALCULATION

total pedestrian area 3,475 SF
 shaded area at june 21st / 2pm 1,894 SF

$3,475 \text{ SF} \times 50\% = 1,738 \text{ SF}$
 $1,894 \text{ SF} > 1,738 \text{ SF}$

Invitation to Neighborhood Meeting



29 APRIL 2019

Re: 901 South 6th Avenue, Parcel 117-08-2410, Activity #DP19-0063, IID-19-07

Date: Thursday, May 16th, 2019
Time: 5:30pm
Meeting Location: 901 South 6th Avenue
Project Location: 901 South 6th Avenue
Proposal: Infill Incentive District zoning options and Individual Parking Plan

This IID application is intended to provide the proposed tenant, Pueblo Vida Brewing Co, with relief from the current requirements for building setbacks, trash / solid waste recycling, and parking for their tenant improvement and site work located at 901 East 6th Avenue. We will further discuss parking as it relates to the Individual Parking Plan (IPP). The purpose of the IPP is to review the existing and potential parking impacts of the development on the surrounding parking facilities.

Pueblo Vida Brewing Co is a locally owned and operated business that is proposed as a new tenant to the existing buildings located at 901 South 6th Avenue. The property has been vacant for some time, but previously operated as a motor vehicle tire and service shop. Pueblo Vida Brewing Co's first location and brewing operations occupy a small space downtown at 115 East Broadway Boulevard. The proposed second location at 901 South 6th Avenue will allow for a larger space to accommodate the surrounding neighborhood patrons and allow for brewery storage.

Meeting Agenda

1. Introductions
2. Discussion Points
 - Project Overview
 - IID Modifications:
 - + Building Setback
 - + Trash / Recycling
 - + Parking / Individual Parking Plan (IPP)
3. Questions and Answers

For questions regarding this invitation or the neighborhood meeting contact Rick McInain 520.791.7035 or email at rick@reppmclain.com.

Sincerely,
Rick McInain

Invitation to Neighborhood Meeting



Location Map



NEIGHBORHOOD MEETING SUMMARY



16 MAY 2019

THE STATION - PUEBLO VIDA

901 South 6TH Avenue

Tucson AZ 85701

Meeting Date: 16 MAY 2019

Meeting Duration: 5:30PM – 6:30PM

Location: 901 South 6TH Avenue

Parcel 11708-2410, Development Plan DP19-0063, IID-19-07

IID + IPP NEIGHBRHOOD MEETING SUMMARY

Introductions architects Repp Mclain Design + Construction, civil engineers Cypress Civil Development, building owners Howard Hays and Denise Grenier, and tenant Pueblo Vida Brewing Kyle Jefferson and Linette Antillon.

Definitions of the IID and IPP for the neighbors and list of proposed relief code modifications:

1. Building Setback: due to existing building setback.
2. Trash / Recycling: residential bins proposed due to proposed dumpster falling within sight visibility triangles.
3. Parking: due to existing site constraints of existing buildings layout and current dimensional code requirements. This will be addressed under the IPP.
4. Landscape Boarders: requesting a reduction of landscape boarders depth from 10' to 5' and allow the use of the right-of-way.

Existing Site / Buildings Conditions: Existing buildings to remain. Site does not meet current code requirements (as listed above), described each item in terms of requested relief and current code standard. Existing West Building is a contributing Historic building, the historic attributes and details are scheduled to remain and we are proposing to bring back the historic elements such as wood windows and wood doors that are missing. Described the proposed use of the West Building as an interior restaurant with a bar that includes beer and wine. A new patio is proposed at the West Building integrated into the previous "service station" use elements scheduled to remain. The East Building will also be a restaurant use as well as brewery storage as an accessory use. A north patio is proposed for this building as well that includes a trellis. A new small restroom building is proposed between the two existing buildings, it's setback and roof slope matches the historic West Building.

NEIGHBORHOOD MEETING SUMMARY



Cypress Civil Development – IPP

The current site does not allow for the total number of required parking spaces under the current code. As a restaurant use 1 parking space is required per 100 square feet. The buildings including the patios total 3,236 square feet, 33 total parking spaces are required. With the 25% reduction allowed by the IID 25 spaces are required, but an additional 1 space is reduced due to additional bike parking spaces. 4 spaces are provided on site leaving 20 spaces required on site. The depth of the right of way has allowed us to provide 14 parking spaces within the right of way that include 2 accessible spaces. As a restaurant use with a microbrewery as an accessory use ride share is encouraged.

Questions and Answers:

Q: The use was previously a gas and services station and tire shop, were the tanks removed?

A: Yes, the tanks were removed under the previous owner.

Q: Why can't the 14 parking spaces be included in the parking calculation?

A: Parking spaces are calculated as on site parking spaces only, because these 14 space are technically in the right of way they are considered as off site parking spaces.

Q: What is the occupancy of the buildings?

A: About 40 occupants for the West Building and about 50 for the East Building.

Q: What type of atmosphere is this space, is it a sports bar?

A: This is a chill atmosphere, not a sports bar. Pueblo Vida does not have TV's on the walls, only roll out a few for University of Arizona games. The intention is to provide a neighborhood restaurant and bar, not a college bar.

Q: What are the operating hours?

A: During the weekdays (M-TH) the West Building and patio will be open from 4:00PM – 10:00PM. During the weekends (F-SU) both buildings and patios will be open. Saturday the hours shall be 12:00PM – 11:00 PM, Sunday the hours shall be 12:00PM – 8:00PM.

NEIGHBORHOOD MEETING SUMMARY



Q: Will you have bands?

A: Not a draw for Pueblo Vida, no bands.

Q: Is there a demographic, why did you choose this space?

A: Pueblo Vida loves this area of town and have a lot of patrons at their downtown location that live in this neighborhood. This space provides the opportunity for patios and the downtown location does not.

Q: My property is just to the south, behind this site, how will I be affected?

A: We are providing a 6'-0" masonry wall to provide more privacy and help with sound. Trees will be included as well as a visual buffer.

Q: Why didn't you go higher with the masonry wall?

A: 6'-0" is the City of Tucson requirement and we would like to remain a friendly neighbor than having an overbearing tall wall.

Q: What happens if you move out and a sports bar moves in?

A: Pueblo Vida is dedicated to the neighborhood and we own houses here, we do not have intentions to sell the property. A sports bar would be a change of use with greater demand on parking and restrooms, a new IID and neighborhood meeting would need to take place for any future businesses.

Q: Do you know anything about the condos across the street, is it still happening?

A: As far as we know it is about 45 +/- units, we are not involved with the project.

Q: When was the West Building added to the historic registrar?

A: In the late 90's.



NEIGHBORHOOD MEETING SUMMARY

Q: 2-3 years ago the east Building was a brick building, are you removing the current stucco to bring back the brick?

A: We are proposing to keep the current stucco finish, it was previously painted brick.

Q: We have a homeless problem in this area, is the trash protected?

A: The trash is proposed to be secured behind fencing, residential bins that are brought out for collection and returned to behind the fence until the next collection.

Q: Are you matching the clay tile from the historic West Building onto the new restroom building?

A: We cannot fake a historic element onto a new proposed building, we are matching the slope, but using a different roof material.

=====
SUN
2100 E SPEEDWAY BLVD
TUCSON
AZ
85719-9998
0388970747
04/29/2019 (800)275-8777 4:48 PM
=====

Table with 3 columns: Product Description, Sale Qty, Final Price. Rows include 5c Grapes, \$2 Statue Freedom, and Total \$384.75.

Credit Card Remitd \$384.75
(Card Name:VISA)
(Account #:XXXXXXXXXX2966)
(Approval #:04241G)
(Transaction #:304)
(AID:A000000031010 Chip)
(AL:VISA CREDIT)
(PIN:Not Required)

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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Anacle Quinol
 465 E 22nd St
 Tucson, AZ 85713
 City, State, ZIP+4®
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 THE FLASH TV LLC
 80 E CALLE PRIMOROSA
 TUCSON, AZ 85716-4936
 City, State, ZIP+4®
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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 FLASH TV LLC
 80 E CALLE PRIMOROSA
 TUCSON, AZ 85716-4936
 City, State, ZIP+4®
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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Bryan Rowling
 1100 Broadway Apt 603
 Tucson, AZ 85701
 City, State, ZIP+4®
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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Owens Kelly & Cynthia
 1310 N Silverman way
 Tucson, AZ 85713
 City, State, ZIP+4®
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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 DUARTE JULIA D LIVING TR
 719 S 6TH AVE
 TUCSON, AZ 85701
 City, State, ZIP+4®
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 DUARTE MANUEL J II LIVING TR
 731 S 6TH AVE
 TUCSON, AZ 85701
 City, State, ZIP+4®
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Yolanda Gonzales
 806 S Robie
 Tucson, AZ 85701
 City, State, ZIP+4®
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
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Sent To
 Street and Apt. No., or PO Box No.
 Suarez Family
 3800 E Calle De Soto
 Tucson, AZ 85716
 City, State, ZIP+4®
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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To Columba Huarague
 Street and Apt. No., or PO Box No.
911 W. 25th St
 City, State, ZIP+4®
Tucson AZ 85713

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To Peter Norback
 Street and Apt. No., or PO Box No.
1425 E. Miles
 City, State, ZIP+4®
Tucson AZ 85719

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To SOCIETY OF ST VINCENT DE PAUL
 Street and Apt. No., or PO Box No.
829 S. 6TH AVE
 City, State, ZIP+4®
TUCSON, AZ 85701-2674

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
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Sent To Tom Ayle
 Street and Apt. No., or PO Box No.
PO Box 26202
 City, State, ZIP+4®
Tucson AZ 85716

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
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 Total Postage and Fees \$

Sent To Leticia Gonzales
 Street and Apt. No., or PO Box No.
1425 S. Elias
 City, State, ZIP+4®
Tucson AZ 85701

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 Return Receipt (electronic) \$
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
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Sent To Anne Caper
 Street and Apt. No., or PO Box No.
PO Box 2132
 City, State, ZIP+4®
Tucson AZ 85713

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To Clarissa Carter
 Street and Apt. No., or PO Box No.
1520 S. Santa Cruz
 City, State, ZIP+4®
Tucson, AZ 85713

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To Nancy Robins
 Street and Apt. No., or PO Box No.
701 E. 1st St
 City, State, ZIP+4®
Tucson, AZ 85719

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To SOCIETY OF ST VINCENT DE PAUL
 Street and Apt. No., or PO Box No.
829 S. 6th Ave
 City, State, ZIP+4®
Tucson AZ 85701

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To Jason Huarague
 Street and Apt. No., or PO Box No.
911 W. 25th St
 City, State, ZIP+4®
Tucson AZ 85713

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To Zach Ventzer
 Street and Apt. No., or PO Box No.
214 S. Granite Ave
 City, State, ZIP+4®
Tucson, AZ 85716

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To Tom Santee
 Street and Apt. No., or PO Box No.
619 S. 3rd Ave
 City, State, ZIP+4®
Tucson AZ 85701

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Earl O'Neil
 Street and Apt. No., or PO Box No. PO BOX 26302
 City, State, ZIP+4® Tucson, AZ 85726

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Sara O'Neil
 Street and Apt. No., or PO Box No. PO BOX 26302
 City, State, ZIP+4® Tucson, AZ 85726

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To George Kalil
 Street and Apt. No., or PO Box No. 931 S. Highland
 City, State, ZIP+4® Tucson, AZ 85719

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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Valencia Robert & Margo
 Street and Apt. No., or PO Box No. 1915 S
 City, State, ZIP+4® Tucson, AZ 85701

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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
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Sent To Bogor Backstod
 Street and Apt. No., or PO Box No. 110 E 20th St
 City, State, ZIP+4® Tucson, AZ 85719

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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To SOCIETY OF ST VINCENT DE PAUL
 Street and Apt. No., or PO Box No. 820 S 6TH AVE
 City, State, ZIP+4® TUCSON, AZ 85701-2624

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To The Flash TV LLC
 Street and Apt. No., or PO Box No. PO Box Primavera
 City, State, ZIP+4® Tucson, AZ 85716

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To A & J Enterprises LLC
 Street and Apt. No., or PO Box No. 410 S 10th Ave
 City, State, ZIP+4® Tucson, AZ 85701

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Polby Healey
 Street and Apt. No., or PO Box No. 110 E 10th St
 City, State, ZIP+4® Tucson, AZ 85719

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

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 Street and Apt. No., or PO Box No. 820 S 6TH AVE
 City, State, ZIP+4® TUCSON, AZ 85701-2624

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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
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Sent To Shane Reiser
 Street and Apt. No., or PO Box No. 600 S. Russell Ave
 City, State, ZIP+4® Tucson, AZ 85701

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Richard Ambrus
 Street and Apt. No., or PO Box No. 1300 S. Park Ave
 City, State, ZIP+4® Tucson, AZ 85714

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Amanda Smith
 1625 S. 813 ST
 City, State, ZIP+4™
 Tucson AZ 85719

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Mercedes Delia & Adelina
 281 S. 712 Ave
 City, State, ZIP+4™
 Tucson AZ 85701

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 STUDDWELL RICHARD + JUDY
 PO BOX 86315
 City, State, ZIP+4™
 TUCSON, AZ 85754-6315

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Ernie Lujan
 1445 S. 413 Ave
 City, State, ZIP+4™
 Tucson AZ 85713

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Hernandez Irene
 080 S. 5th Ave
 City, State, ZIP+4™
 Tucson AZ 85701

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Shirley Roman
 606 W. 215 St.
 City, State, ZIP+4™
 Tucson AZ 85745

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 STUDDWELL RICHARD + JUDY
 PO BOX 86315
 City, State, ZIP+4™
 TUCSON, AZ 85754-6315

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Steve Kozachnik
 2802 E. 151 St
 City, State, ZIP+4™
 Tucson AZ 85716

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Jacqueline Turcotte
 402 S. 5th Ave
 City, State, ZIP+4™
 Tucson AZ 85719

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Maria Cadava
 216 N. 151 Ave
 City, State, ZIP+4™
 Tucson AZ 85705

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 ENCINAS BENJAMIN R + SILVIA M
 150 E. 19TH ST.
 City, State, ZIP+4™
 TUCSON, AZ, 85701-3161

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Amanda, Armando + Teresa
 22 W. 20th St
 City, State, ZIP+4™
 Tucson AZ 85701

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8593

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Certified Mail Fee
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Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
 \$

Total Postage and Fees
 \$

Sent To
 Street and Apt. No., or PO Box No.
THE STATION ON 6TH AVE LLC
3351 E. CAMINO CAMPESTRE
 City, State, ZIP+4®
TUCSON, AZ 85716-5829

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8430

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
 \$

Total Postage and Fees
 \$

Sent To
 Street and Apt. No., or PO Box No.
EL-ALDOSY BILAL AHMED I AHMED
586 E COVERED WAGON DR RANA
 City, State, ZIP+4®
TUCSON, AZ 85704-6956

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8518

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Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
 \$

Total Postage and Fees
 \$

Sent To
 Street and Apt. No., or PO Box No.
WALKER JESSICA J
3427 N WILSON AVE
 City, State, ZIP+4®
TUCSON AZ 85719-2457

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Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
 \$

Total Postage and Fees
 \$

Sent To
 Street and Apt. No., or PO Box No.
SOCIETY OF ST VINCENT DE PAUL
820 S 6TH AVE
 City, State, ZIP+4®
TUCSON AZ 85701-2624

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8409

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Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
 \$

Total Postage and Fees
 \$

Sent To
 Street and Apt. No., or PO Box No.
KOOPMAN KATHLEEN A FAMILY R
82 S 5TH AVE
 City, State, ZIP+4®
TUCSON AZ 85701-2705

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8454

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Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
 Street and Apt. No., or PO Box No.
PARADIES JED
4511 N CAMINO DEL REY
 City, State, ZIP+4®
TUCSON AZ 85718-6609

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8568

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 Return Receipt (hardcopy) \$
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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
 Street and Apt. No., or PO Box No.
HOLEY MARK K
847 S 5TH AVE
 City, State, ZIP+4®
TUCSON, AZ 85701-2705

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7019 0700 0001 1412 8569

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
 \$

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Sent To
 Street and Apt. No., or PO Box No.
HART VIVIAN B
PO BOX 101
 City, State, ZIP+4®
CRANBERRY ISLES, ME 04625

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7019 0700 0001 1412 8428

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
 \$

Total Postage and Fees
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Sent To
 Street and Apt. No., or PO Box No.
WILKE MICHAEL + CHRISTINE
840 S 5TH AVE
 City, State, ZIP+4®
TUCSON, AZ 85701-2706

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8461

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
 Street and Apt. No., or PO Box No.
MILLER DOROTHY A
614 S CONVENT AVE
 City, State, ZIP+4®
TUCSON, AZ 85701-2644

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7019 0700 0001 1412 8355

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
 Street and Apt. No., or PO Box No.
HART VIVIAN B
PO BOX 101
 City, State, ZIP+4®
CRANBERRY ISLES, ME 04625

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8379

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
 \$

Total Postage and Fees
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Sent To
 Street and Apt. No., or PO Box No.
DEE ANTHONY
822 S 5TH AVE
 City, State, ZIP+4®
TUCSON, AZ 85701-2706

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8706

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **BALFOUR MARGARET E**
 Street and Apt. No., or PO Box No. **23 W 19TH ST UNIT 25**
 City, State, ZIP+4® **TUCSON, AZ 85701-2638**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **A+J ENTERPRISES LLC**
 Street and Apt. No., or PO Box No. **947 S 6TH AVE**
 City, State, ZIP+4® **TUCSON, AZ 85701-3001**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8416

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **TUCKER KENNETH R**
 Street and Apt. No., or PO Box No. **828 S 5TH AVE**
 City, State, ZIP+4® **TUCSON, AZ 85701-2706**

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7019 0700 0001 1412 8669

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **HILLER KATLEEN MARIE + LANNING ROBERT SCOTT**
 Street and Apt. No., or PO Box No. **922 S 7TH AVE UNIT 2**
 City, State, ZIP+4® **TUCSON, AZ 85701-3063**

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7019 0700 0001 1412 8553

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **MILLER JEREMY**
 Street and Apt. No., or PO Box No. **4143 VIA MARINA APT 915**
 City, State, ZIP+4® **MARINA DEL REY, CA 90292-5308**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8522

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **MORENO DAVID S + MORENO DAVID + GILBERT JAMES**
 Street and Apt. No., or PO Box No. **2711 S CASTLE DR**
 City, State, ZIP+4® **TUCSON, AZ 85713-4591**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8458

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **BOHAC FRANK + MANLY-BOHAC GERTRUDE**
 Street and Apt. No., or PO Box No. **812 S 5TH AVE**
 City, State, ZIP+4® **TUCSON, AZ 85701-2706**

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7019 0700 0001 1412 8676

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **BARRIO HOLDINGS LLC**
 Street and Apt. No., or PO Box No. **721 N 4TH AVE**
 City, State, ZIP+4® **TUCSON, AZ 85705-8446**

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7019 0700 0001 1412 8539

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **TYLUTKI DAVID P**
 Street and Apt. No., or PO Box No. **1922 E 9TH ST**
 City, State, ZIP+4® **TUCSON, AZ 85719-5963**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8713

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **VILLA JUAN H GOMEZ + RAMIREZ MARIA ELENA ABUNDIO**
 Street and Apt. No., or PO Box No. **9749 S NEW ATHENS WAY**
 City, State, ZIP+4® **TUCSON, AZ 85756-7880**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8447

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **REISER SHANE M**
 Street and Apt. No., or PO Box No. **828 S RUSSELL AVE**
 City, State, ZIP+4® **TUCSON, AZ 85701-2634**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 0700 0001 1412 8690

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage and Fees \$

Sent To **HILLER KATLEEN MARIE**
 Street and Apt. No., or PO Box No. **922 S 7TH AVE UNIT 2**
 City, State, ZIP+4® **TUCSON, AZ 85701-3063**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Yolanda Quiroz
 Street and Apt. No., or PO Box No. 440 E 22nd St
 City, State, ZIP+4® Tucson, AZ 85713
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To SOCIETY OF ST VINCENT DE PAUL
 Street and Apt. No., or PO Box No. 820 S 6TH AVE
 City, State, ZIP+4® TUCSON, AZ 85701-2624
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Erika Mihik
 Street and Apt. No., or PO Box No. 131 N Euclid
 City, State, ZIP+4® Tucson, AZ 85719
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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OFFICIAL USE

Certified Mail Fee \$
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Josefa Cardenas
 Street and Apt. No., or PO Box No. 508 W 21st St
 City, State, ZIP+4® Tucson, AZ 85715
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To Magana Jodi
 Street and Apt. No., or PO Box No. 4830 W Ferret Dr
 City, State, ZIP+4® Tucson, AZ 85742
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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OFFICIAL USE

Certified Mail Fee \$
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To BRUNS LARRY ANTON
 Street and Apt. No., or PO Box No. 4009 TRICIA WAY
 City, State, ZIP+4® NORTH HIGHLANDS, CA 95660
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
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Sent To Raul Ramirez
 Street and Apt. No., or PO Box No. 1931 W BRIGHTA DR
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